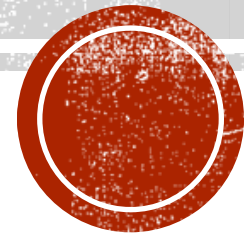


WEAKLAND CRESCENT HOUSING DEVELOPMENT

MHA Architects Project

ENTER



INTRODUCTION

- Original Project Lead – Annas (Senior Architect)
- Support – Ruth Ponsford (Architectural Assistant)
– Alana Stevens (Junior Architect)
- Inherited Project Lead – John Cooke (Architectural Technologist)

- Project Software used – AutoCAD, Revit
 - Site layout and plans created in AutoCAD
 - House types and details are created in Revit – none BIM level 2 principles.
 - Details original created in AutoCAD, Additional detail created by me when inheriting the project are created in Revit using BIM level 2 principles.

- Weakland Crescent is a Sheffield Council development of three separate sites for more accessible houses using land designated for house
- Additional information, this development found two 80pound factory killer world war two bombs, from the Sheffield blitz, these were found in site B during landscaping when the houses were completed



INDEX

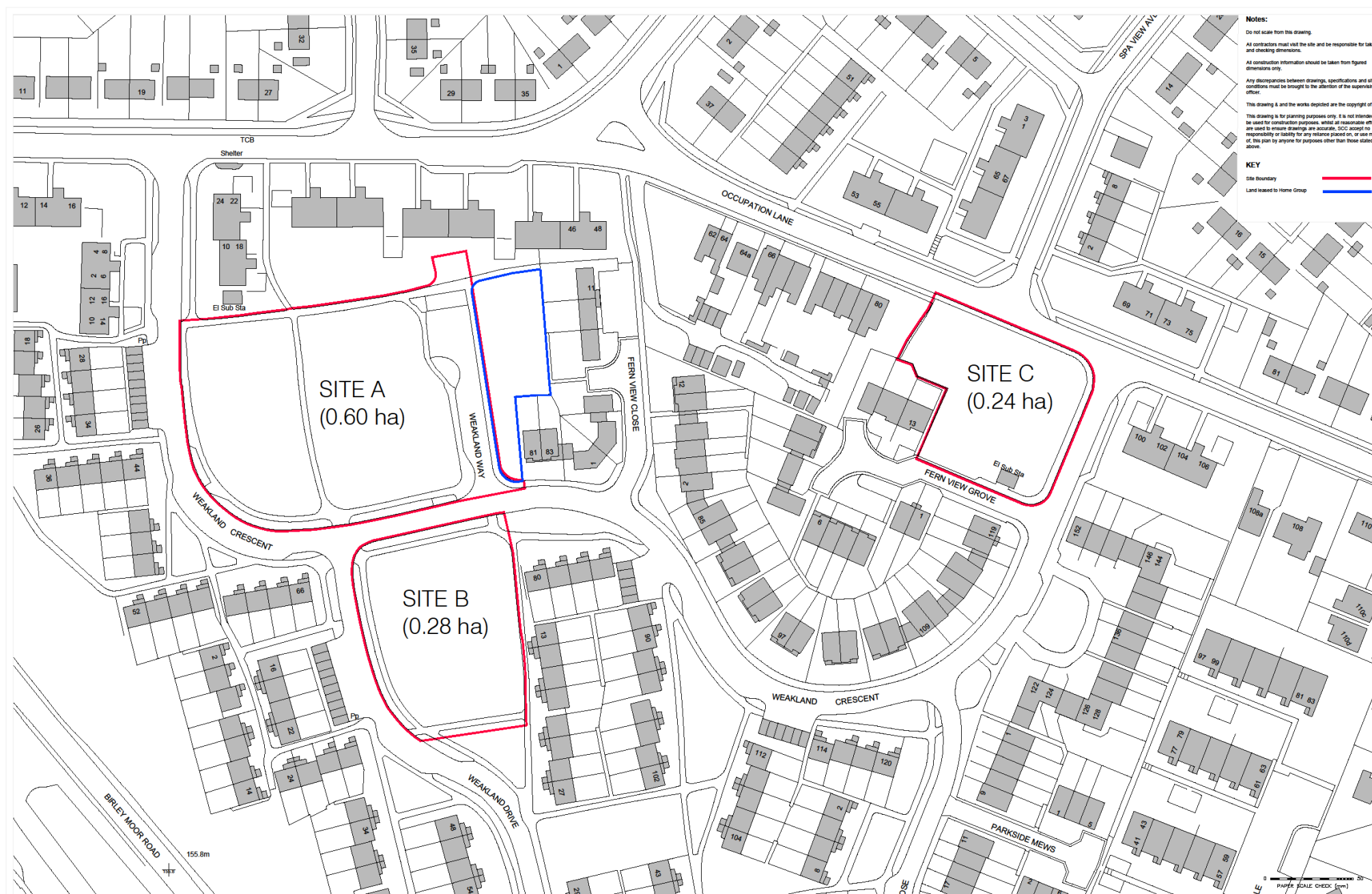
- Location Plan
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details
- Doors
- Boundary Details



SITE PLANS / SECTIONS / COORDINATION

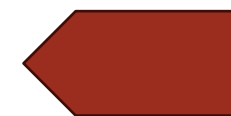
- Location Plan ←
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details
- Doors
- Boundary Details





Notes:
 Do not scale from this drawing.
 All contractors must visit the site and be responsible for taking and checking dimensions.
 All construction information should be taken from figured dimensions only.
 Any discrepancies between drawings, specifications and site conditions must be brought to the attention of the supervising officer.
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KEY
 Site Boundary —
 Land leased to Home Group —



Capital Delivery Service
 LEVEL 3, EAST WING, MOORFOOT, SHEFFIELD, S1 4PL
 Tel: 0114 2735628 Email: CDS@sheffield.gov.uk

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REV	DATE	REVISIONS
***		****

DRAWN	CHECKED	APPROVED	NOTES
***	**	**	

CLIENT Housing & Neighbourhood Service IRS	SUBMITTAL STATUS D2/TENDER	A1
SCHEME Weakland - NCH - Sites A, B & C	SCALE 1:500@A1	Sheffield City Council
TITLE Existing Location Plan SITES A,B,C	DATE 01/11/18	
	ISSUED 12	
	APPROVED PDS	
DWG NO. SH5479-CDS-00-XX-DR-A-1001		SUBMITTAL REV D2





Notes:

Do not scale from this drawing.

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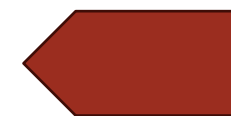
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This layout is based on 1st Horizon Surveying & Engineering Ltd. Survey drawings no. SCC-TWS 1438-04 to 08



Capital Delivery Service

LEVEL 3, EAST WING, MOORFOOT, SHEFFIELD, S1 4PL
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REV	DATE	REVISIONS

DRAWN	CHECKED	APPROVED	NOTES

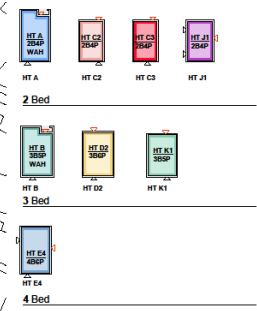
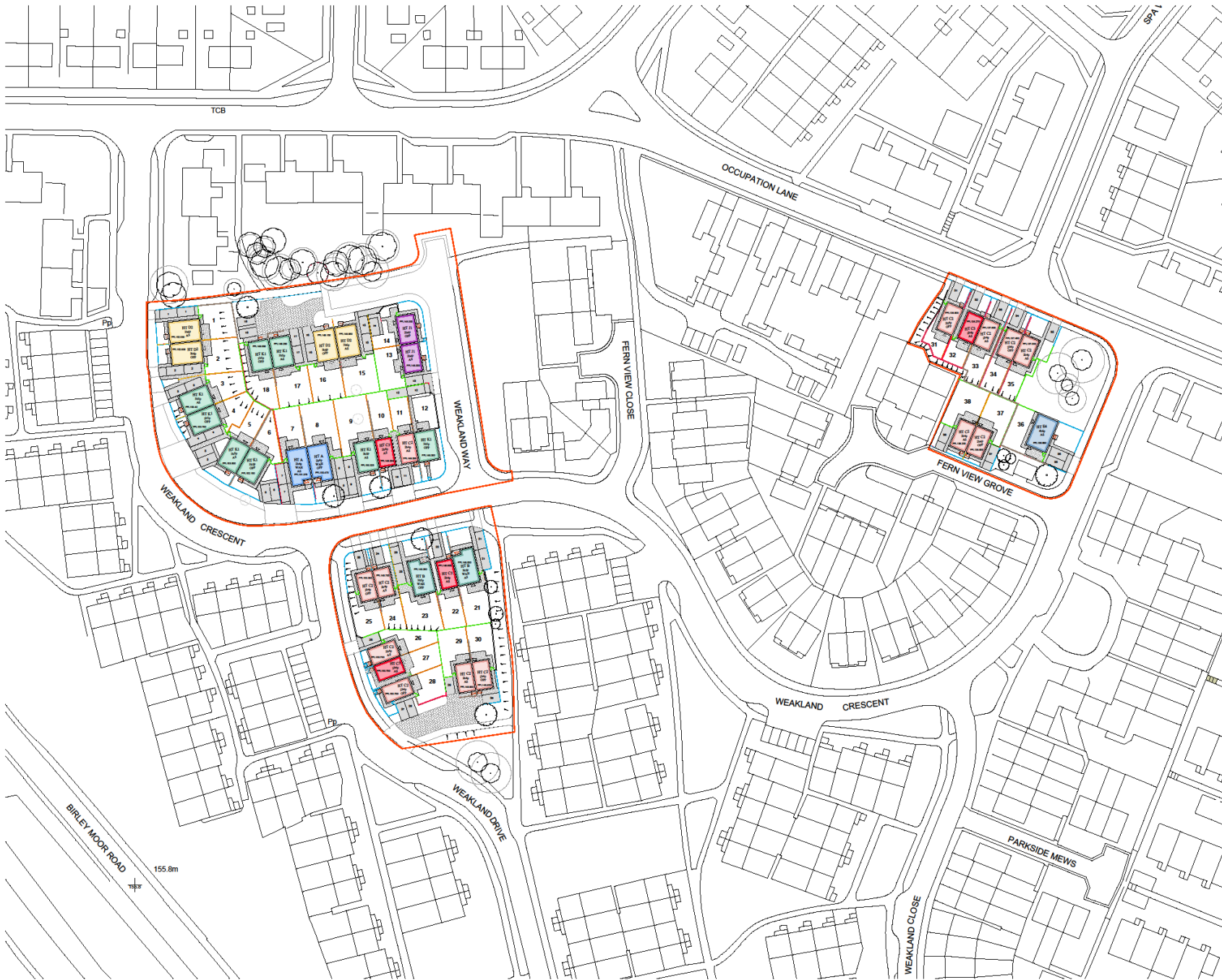
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TITLE Existing Topo/ Buried Services Survey Overlay SITES A,B,C	DATE 01/11/18	
DWG NO. SH5479-CDS-00-XX-DR-A-1002	ISSUED 12	APPROVED PDR
	SUBMITTED D2	REVISION D2



SITE PLANS

- Location Plan
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details
- Doors
- Boundary Details





- LEGEND**
- Retaining wall (edge protection required over 600mm ht)
 - Retaining flag on edge detail
 - 1000mm High brick screen wall
 - 1500mm High timber fence with 200mm batts over
 - 1000mm High close board screen timber fence and timber gates
 - 900mm high black steel railings and steel gates to match
 - Existing Trees to be retained
 - Existing Trees to be removed
 - Proposed New Trees
 - Raising flag Steps - 300mm going 150mm Rise (Ramp not > 600mm rise)
 - Barrier - these should not exceed 1:3 adjacent to adoptable highways
 - Location of main entrance door
 - Location of rear door
 - Tarmac car parking bays & on pod pedestrian paths
 - 450mm eq concrete paved paths and garden paths
 - Block paved shared vehicular access driveways
 - Proposed finished ground level
 - Existing ground level

No. 101101 - 10/11/2019
 No. 101102 - 10/11/2019
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 No. 101199 - 10/11/2019
 No. 101200 - 10/11/2019

ENGIE
 New Council Housing
 Weaklands, Sites A, B & C
 Site Location Plan
FOR RECORD
 Date: April 2019
 Scale: T:500 @ A1
 Author: [Name]
 Checker: [Name]
 Designer: [Name]
 Project No: [Number]
 Drawing No: [Number]
 Date: [Date]
 Scale: [Scale]
 Status: [Status]





LEGEND

- Retaining wall (slope protection required over 600mm ht)
- Retaining flag on edge detail
- 1500mm high brick fence with 300mm trellis over
- 1500mm high close board screen timber fence and timber gates
- 900mm high black steel railings and steel gates to match
- Existing Trees to be retained
- Existing Trees to be removed
- Proposed New Trees
- Paving flag Slabs - 300mm going 150mm Rise (paved cut if over 600mm rise)
- Butler - these should not exceed 1:3 adjacent to adjoinable highways
- Location of main entrance door
- Location of rear door
- Tarmac car parking bays & on plot pedestrian paths
- 450mm x 450mm concrete paved patios and garden paths
- Block paved shared vehicular access driveways
- Proposed finished ground level
- Existing ground level

21	100%	100%	100%
22	100%	100%	100%
23	100%	100%	100%
24	100%	100%	100%
25	100%	100%	100%

ENGIE

New Council Housing
Weaklands, Sites A, B & C

Site Plan
Site A

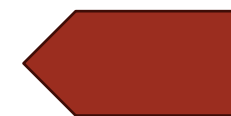
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PROJECT: CR

Drawn: [Name]
Checked: [Name]
Approved: [Name]

File No: 14-0314-273-710
11/04/2018
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11/04/2018

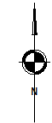
mha
ARCHITECTS



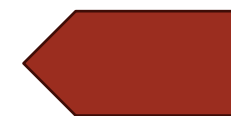


LEGEND

- Retaining wall (slope protection required over 600mm ht)
- Retaining flag on edge detail
- 1800mm high brick screen wall
- 1500mm high timber fence with 300mm batts over
- 1800mm high close board screen timber fence and timber gates
- 900mm high black steel railings and steel gates to match
- Existing Trees to be retained
- Existing Trees to be removed
- Proposed New Trees
- Retaining Flag Class - 300mm galling 150mm Rise (hand rail if over 600mm rise)
- Butter - these should not exceed 1:3 adjacent to adaptable highways
- Location of main entrance door
- Location of rear door
- Tarmac car parking bays & on plot pedestrian paths
- 400mm sq concrete paved public and garden paths
- Block paved shared vehicular access driveways
- Proposed finished ground level
- Existing ground level



New Council Housing Weaklands, Sites A, B & C	
Site Plan Site B	
FOR RECORD	
DATE: 12/04/2019	TIME: 1:50:00 @ A1
REVISED: 12/04/2019	CR: [initials]
Project: 144-0114-210-710 11 Leven Street 144-0114-210-300 Email: info@rhaarchitects.com 01 201 www.rhaarchitects.com	





LEGEND

- Retaining wall (edge protection required over 600mm ht)
- Retaining flag on edge detail
- 1800mm high brick screen wall
- 1800mm high timber fence with 300mm bells over
- 1800mm high close board screen timber fence and timber gates
- 1800mm high back steel railings and steel gates to match
- Existing Trees to be retained
- Existing Trees to be removed
- Proposed New Trees
- Playing flag Steps - 300mm going 150mm Rise (Run/Rise ≤ 1.0 over 600mm run)
- Sutter - these should not exceed 1:3 adjacent to adjoinable highways
- Location of main entrance door
- Location of rear door

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ENGIE

New Council Housing
Weaklands, Sites A, B & C

Setting Out Site Plan
Site A

FOR RECORD

DATE: 15 May 2019
SCALE: T=200 @ A1
DRAWN BY: CR
CHECKED BY: PS

11 Barker Avenue | +61 (0)2 824 0200
Sydney NSW | +61 (0)2 824 0200
Melbourne | +61 (0)3 824 0200
Perth WA | +61 (0)8 824 0200
www.engie.com.au

m+h
ARCHITECTS





- LEGEND**
- Retaining wall (edge protection required over 600mm ht)
 - Retaining flag on edge detail
 - 1500mm high brick screen wall
 - 1500mm high timber fence with 300mm trellis over
 - 1800mm high close board screen timber fence and timber gates
 - 900mm high black steel railings and steel gates to match
 - Existing Trees to be retained
 - Existing Trees to be removed
 - Proposed New Trees
 - Flaring Flag Stairs - 300mm going 150mm Rise (land) call if over 500mm riser
 - Butterfly - these should not exceed 1:3 adjacent to adaptable highways
 - Location of main entrance door
 - Location of rear door

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ENGIE

New Council Housing
Wauklands, Sites A, B & C

Setting Out Site Plan
Site B

FOR RECORD

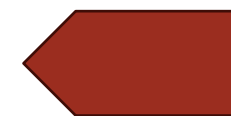
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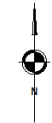
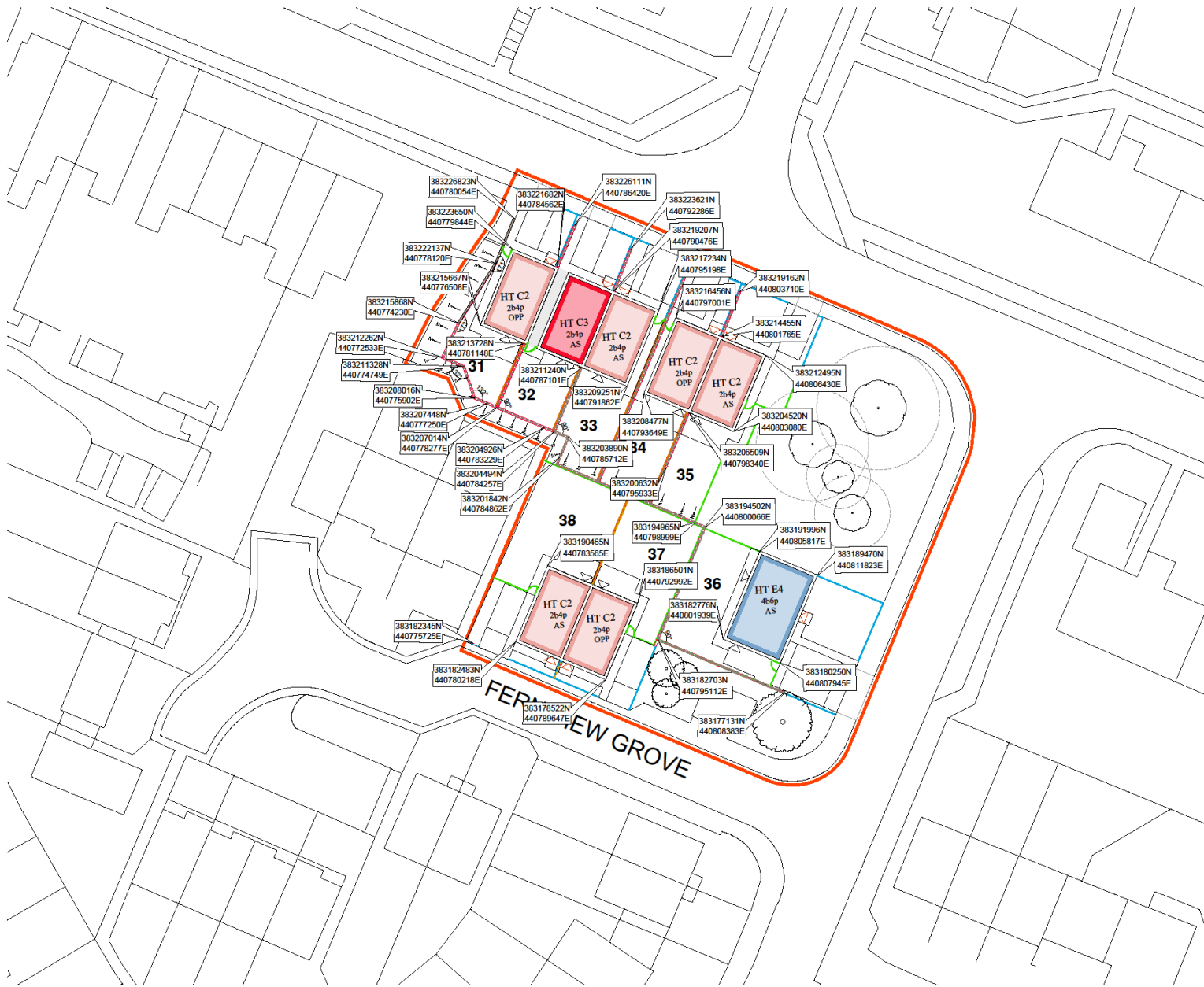
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PROJECT: WPA_28_XI_OH_A_2019

11 Batten Avenue | +61 (0)11 834 1010
 200 Kingsway | +61 (0)11 834 1000
 Melbourne | +61 (0)3 9593 9000
 90 St | +61 (0)3 9593 9000

mha
ARCHITECTS





LEGEND

- Retaining wall (slope protection required over 600mm H)
- Retaining flag on edge detail
- 1500mm high brick screen wall
- 1500mm high timber fence with 300mm batts over
- 1800mm high close board screen timber fence and timber gates
- 900mm high black steel railings and steel gates to match
- Existing Trees to be retained
- Existing Trees to be removed
- Proposed New Trees
- Planting flag (slope < 300mm gully 150mm Rise (hand rail if over 500mm rise))
- Butter - these should not exceed 1:3 adjacent to adaptable highways
- Location of main entrance door
- Location of rear door

New Council Housing
Weeklands, Site A, B & C

Setting Out Site Plan
Site C

FOR RECORD

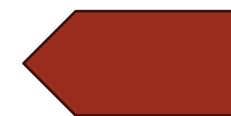
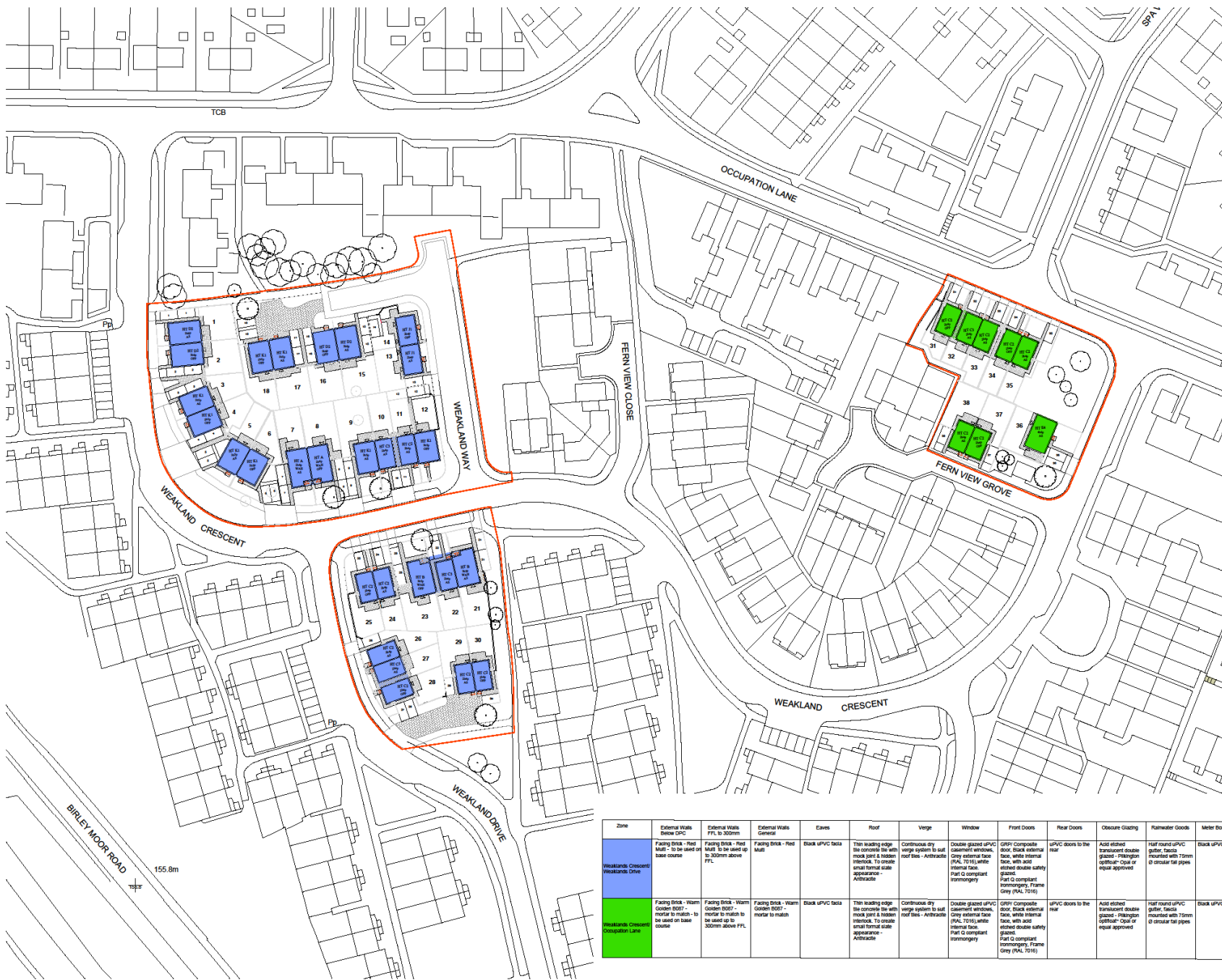
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BY: [Signature]

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Drawing: 383178522N_014

Client: [Name]
Contact: [Phone]
Website: [URL]





Zone	External Walls Below DPC	External Walls FFL to 300mm	External Walls General	Eaves	Roof	Verge	Window	Front Doors	Rear Doors	Obscure Glazing	Flamwater Goods	Meter Bores
Weaklands Crescent Weaklands Drive	Facing Brick - Red Matt - to be used on base course	Facing Brick - Red Matt - to be used up to 300mm above FFL	Facing Brick - Red Matt	Black UPVC fascia	Thin leading edge tile concrete tile with mock joint & hidden interlock. To create small formal scale appearance - Anthracite	Continuous dry verge system to suit roof tiles - Anthracite	Double glazed uPVC casement windows. Grey external face (RAL 7016) white internal face. Part G compliant terminology.	GFRP Composite door. Black external face, white internal face, with acid etched double safety glazing. Part G compliant terminology. Frame Grey (RAL 7016)	uPVC doors to the rear	Add etched translucent double glazed - Pilkington OptiClear - Opti or equal approved	Half round UPVC gutter. Facets rounded with 75mm Ø circular fall pipes	Black UPVC
Weaklands Crescent Occupation Lane	Facing Brick - Warm Golden 0007 - mortar to match - to be used on base course	Facing Brick - Warm Golden 0007 - mortar to match - to be used up to 300mm above FFL	Facing Brick - Warm Golden 0007 - mortar to match	Black UPVC fascia	Thin leading edge tile concrete tile with mock joint & hidden interlock. To create small formal scale appearance - Anthracite	Continuous dry verge system to suit roof tiles - Anthracite	Double glazed uPVC casement windows. Grey external face (RAL 7016) white internal face. Part G compliant terminology.	GFRP Composite door. Black external face, white internal face, with acid etched double safety glazing. Part G compliant terminology. Frame Grey (RAL 7016)	uPVC doors to the rear	Add etched translucent double glazed - Pilkington OptiClear - Opti or equal approved	Half round UPVC gutter. Facets rounded with 75mm Ø circular fall pipes	Black UPVC

1:1 Scale: 1:1000
 1:2 Scale: 1:500
 1:3 Scale: 1:250
 1:4 Scale: 1:125
 1:5 Scale: 1:62.5
 1:6 Scale: 1:31.25
 1:7 Scale: 1:15.625
 1:8 Scale: 1:7.8125
 1:9 Scale: 1:3.90625
 1:10 Scale: 1:1.953125
 1:12 Scale: 1:0.826446
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 1:20 Scale: 1:0.15625
 1:25 Scale: 1:0.078125
 1:30 Scale: 1:0.041667
 1:40 Scale: 1:0.024414
 1:50 Scale: 1:0.015625
 1:60 Scale: 1:0.010417
 1:75 Scale: 1:0.00651
 1:100 Scale: 1:0.003906
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 1:500 Scale: 1:0.000781
 1:600 Scale: 1:0.000651
 1:750 Scale: 1:0.000521
 1:1000 Scale: 1:0.000391

11 Fern Avenue | +44 (0)1204 604 000
 Glasgow | +44 (0)1204 604 000
 Manchester | +44 (0)1204 604 000
 90 Stur | +44 (0)1204 604 000

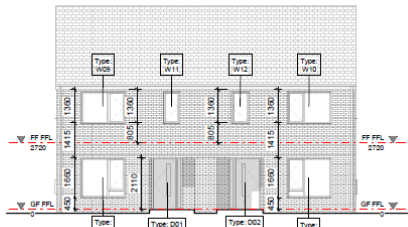
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 Checked: CR



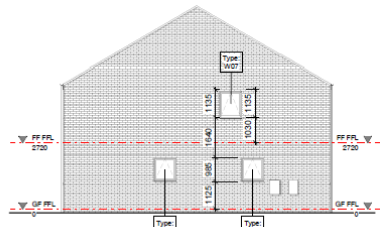
HOUSE TYPES

- Location Plan
- Site Plans
- House Types
- Stair Sections ←
- House Section
- House Details
- Doors
- Boundary Details





Front Elevation
1 : 100



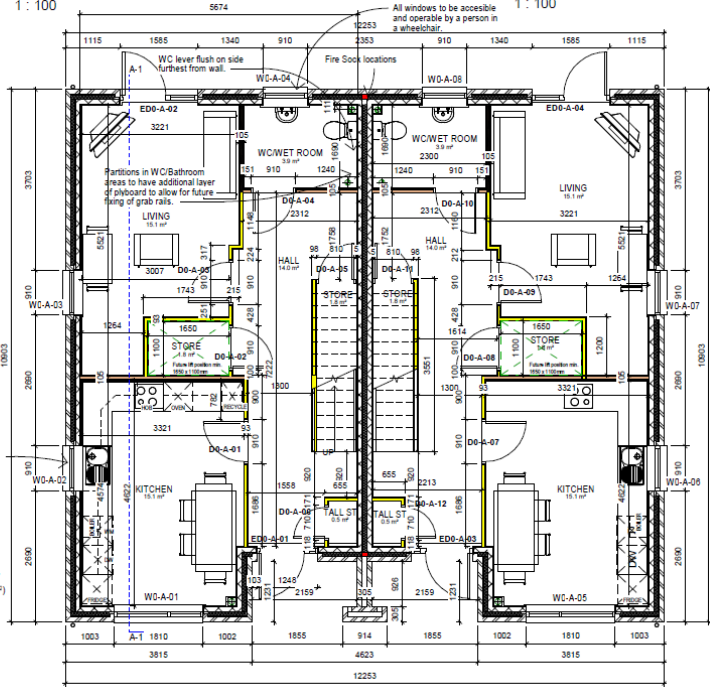
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1 : 100



Rear Elevation
1 : 100



Right Elevation
1 : 100



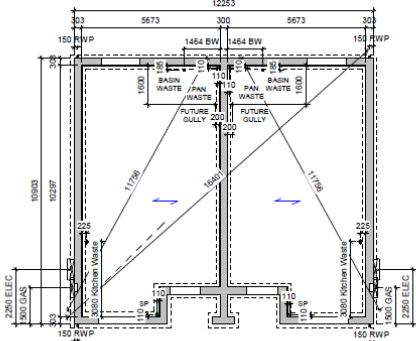
Ground Floor Plan
1 : 50

Service controls should be within a height band of 900mm to 1200mm from the floor and at least 300mm away from any internal room corner.

Electric opener required for window over kitchen sink. Top hung window

Length of kitchen worktop=9614mm (Blig Rags require 6530mm)

Combined area of living, dining & kitchen=20m² (Blig Rags require 20m²)



Foundation Plan
1 : 100

DESIGN CRITERIA
Building Regulations 2010 (2015 edition)
Lifetime Homes (July 2010)
Design Quality Standards, Edition 2)
Housing Quality Indicators (HQI)
Secured by Design principles only
Building for Life 12
South Yorkshire Residential Design Guide 2011
Ceiling heights - Ground floor 2.4m, 1st Floor 2.4m

NOTE:
All ironmongery to be Lifetime Homes compliant
Roof truss design to allow for potential hoist load. Hoist to be capable of lifting a weight of 30 stone (190.5kg)
All switches to be rocker type (WAH)
Smoke alarm reset to be at an accessible location (WAH)
Radiator controls to be at an accessible location
Lights to be provided over kitchen worktop
Mixer unit located in loft

Internal Wall Types:

- Type A: 93mm (63mm stud with two layers of 12.5mm plasterboard with skim)
- Type B: 106mm (single layer of ply 12mm, 63mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C: 117mm (two layers of ply 12mm, 63mm stud with two layers of 12.5mm plasterboard with skim)

Dimensions shown are brick dimensions structural opening dimensions to be checked on site

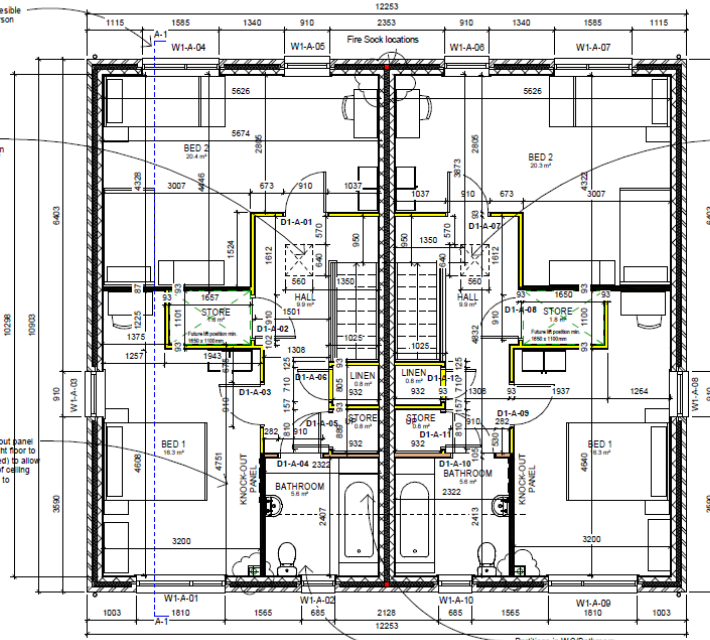
Cavity fire barriers to be provided around every opening

Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at cable ends, at junction of party wall insulation and Kingspan insulation on stepped plots and to reduce any run of cavity to a maximum 20m length vertically and horizontally

All windows to be accessible and operable by a person in a wheelchair.

Approx. location of left access hatch exact location to be coordinated with roof truss locations

Provide future knock-out panel 900mm wide, full height floor to ceiling (where indicated) to allow for future installation of ceiling hoist from Bedroom 1 to Bathroom.



First Floor Plan
1 : 50

All windows to be accessible and operable by a person in a wheelchair.

Approx. location of left access hatch exact location to be coordinated with roof truss locations

Provide future knock-out panel 900mm wide, full height floor to ceiling (where indicated) to allow for future installation of ceiling hoist from Bedroom 1 to Bathroom.

WC lever flush on side furthest from wall.
Partitions in WC/Bathroom areas to have additional layer of plyboard to allow for future fixing of grab rails.

2.1	2.1.1	2.1.1.1	2.1.1.1.1	2.1.1.1.1.1
2.1	2.1.2	2.1.2.1	2.1.2.1.1	2.1.2.1.1.1
2.1	2.1.3	2.1.3.1	2.1.3.1.1	2.1.3.1.1.1
2.1	2.1.4	2.1.4.1	2.1.4.1.1	2.1.4.1.1.1
2.1	2.1.5	2.1.5.1	2.1.5.1.1	2.1.5.1.1.1
2.1	2.1.6	2.1.6.1	2.1.6.1.1	2.1.6.1.1.1
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2.1	2.1.8	2.1.8.1	2.1.8.1.1	2.1.8.1.1.1
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2.1	2.1.10	2.1.10.1	2.1.10.1.1	2.1.10.1.1.1
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ENGIE

Housing

FOR RECORD

Project: ABE / CY Date: 04/15/19

Client: ABE / CY

Scale: 1:50

Drawn: [Signature]

Checked: [Signature]

Approved: [Signature]

Project: JRD2134 / 104-A-10X-01Y-0001

Scale: 1:50

Drawn: [Signature]

Checked: [Signature]

Approved: [Signature]

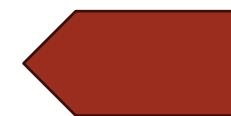
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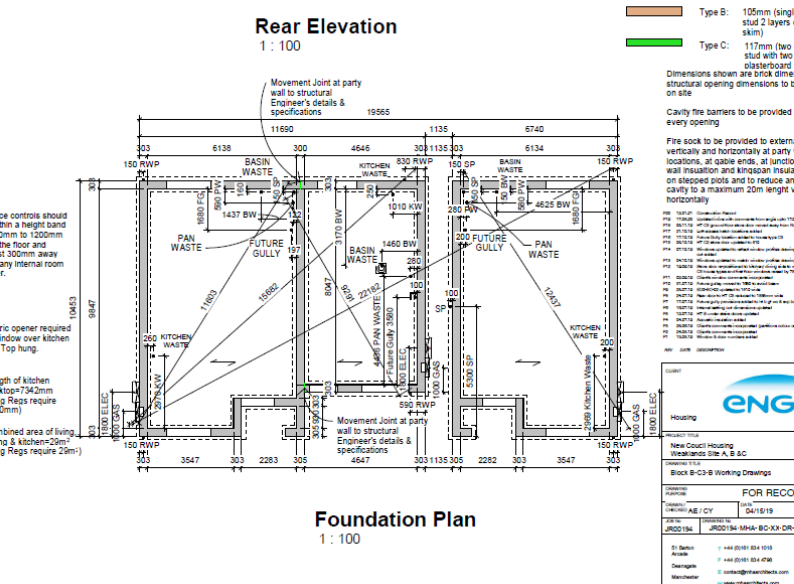
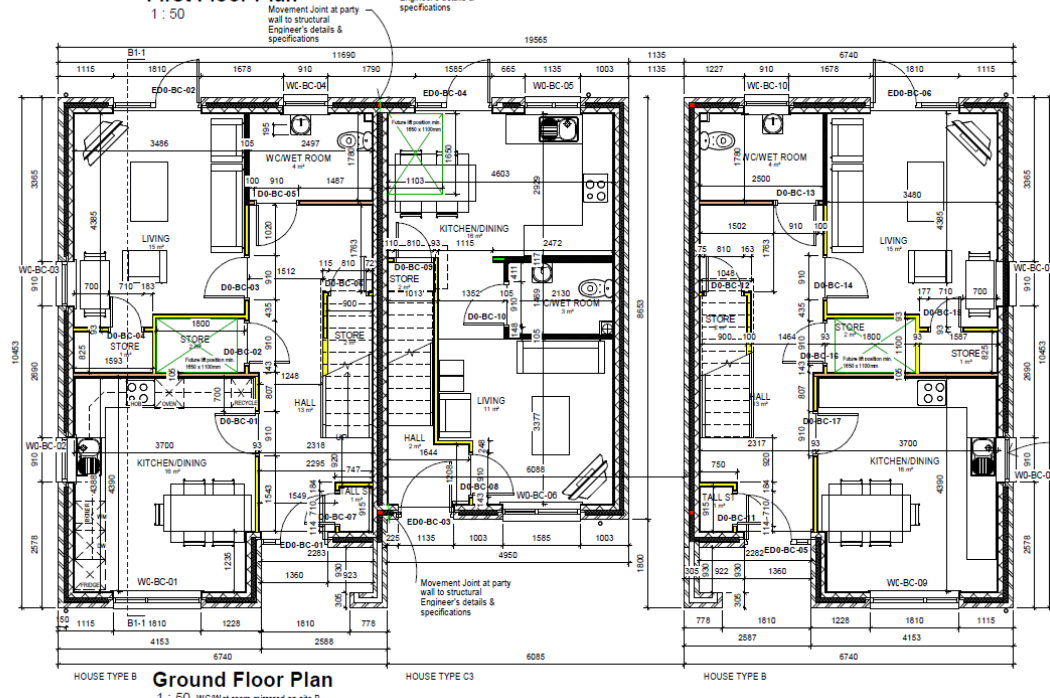
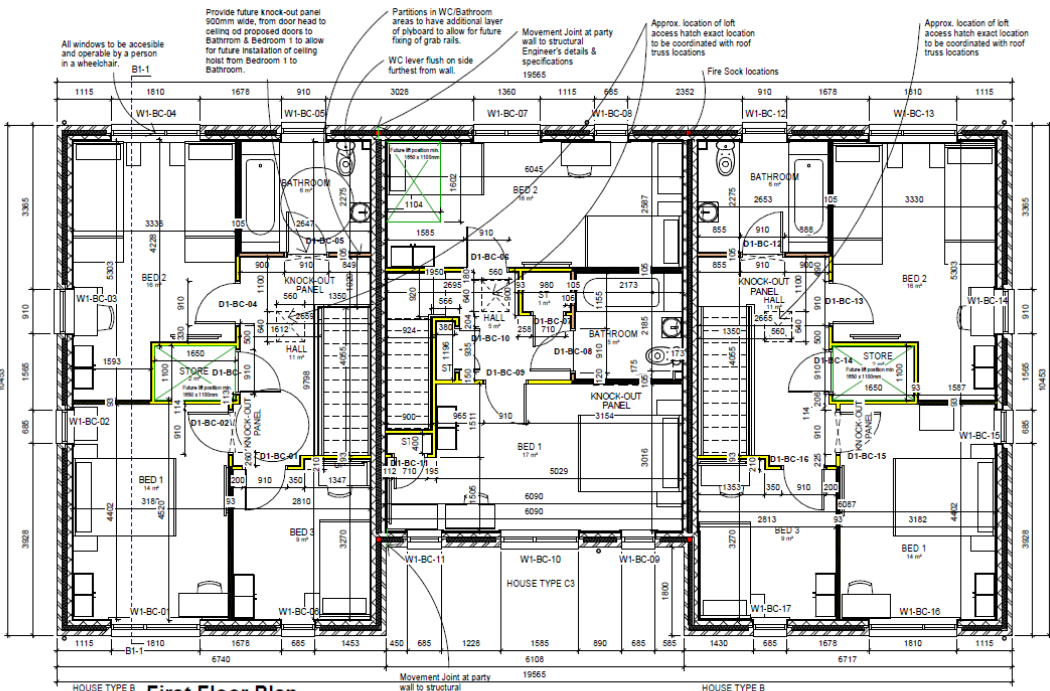
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Drawn: [Signature]

Checked: [Signature]

Approved: [Signature]





- DESIGN CRITERIA**
- Building Regulations 2010 (2015 edition)
 - Lifetime Homes (July 2010)
 - Design Quality Standards (Edition 2)
 - Housing Quality Indicators (HQI)
 - Secured by Design principles only
 - Building for Life 12
 - South Yorkshire Residential Design Guide 2011
 - Ceiling heights - Ground Floor 2.4m, 1st Floor 2.4m
- NOTE:**
- All ironmongery to be Lifetime Homes compliant.
 - Roof truss design to allow for potential hoist load. Hoist to be capable of lifting a weight of 30 stone (190.5kg).
 - All windows to be rooker type (WAH).
 - Smoke alarm reset to be at an accessible location (WAH).
 - Extractor controls to be at an accessible location.
 - Lights to be provided over kitchen worktop.
 - MVHR unit located in loft.

Internal Wall Types:

- Type A: 90mm (63mm stud with two layers of 12.5mm plasterboard with skim)
- Type B: 105mm (single layer of ply 12mm, 63mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C: 117mm (two layers of ply 12mm, 63mm stud with two layers of 12.5mm plasterboard with skim)

Dimensions shown are brick dimensions. Structural opening dimensions to be checked on site.

Cavity ties to be provided around every opening.

Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at cable ends, at junction of party wall insulation and knogknog insulation on stacked plots and to reduce any run of cavity to a maximum 20m length vertically and horizontally.

1:100 ELEVATION SYMBOLS
 000 1000 2000 3000 4000 5000 6000 7000 8000 9000
 10000 11000 12000 13000 14000 15000 16000 17000 18000 19000
 20000 21000 22000 23000 24000 25000 26000 27000 28000 29000
 30000 31000 32000 33000 34000 35000 36000 37000 38000 39000
 40000 41000 42000 43000 44000 45000 46000 47000 48000 49000
 50000 51000 52000 53000 54000 55000 56000 57000 58000 59000
 60000 61000 62000 63000 64000 65000 66000 67000 68000 69000
 70000 71000 72000 73000 74000 75000 76000 77000 78000 79000
 80000 81000 82000 83000 84000 85000 86000 87000 88000 89000
 90000 91000 92000 93000 94000 95000 96000 97000 98000 99000
 100000

ENGIE

Housing

New Coast Housing
 Wakefields Site A & B/C

Block B-C-B Working Drawings

FOR RECORD

DATE: 04/19/19
 DRAWN: [Signature]
 CHECKED: [Signature]
 APPROVED: [Signature]

Scale: 1:100

Sheet: JRD219a

Project: JRD219a-MH-BC-KV-DR-A-0201

Client: CH

Location: P20

Drawn by: B1

Checked by: [Signature]

Approved by: [Signature]

Scale: 1:100

Sheet: JRD219a

Project: JRD219a-MH-BC-KV-DR-A-0201

Client: CH

Location: P20

Drawn by: B1

Checked by: [Signature]

Approved by: [Signature]

Scale: 1:100

Sheet: JRD219a

Project: JRD219a-MH-BC-KV-DR-A-0201

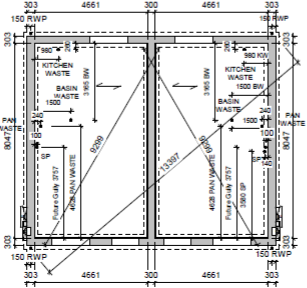
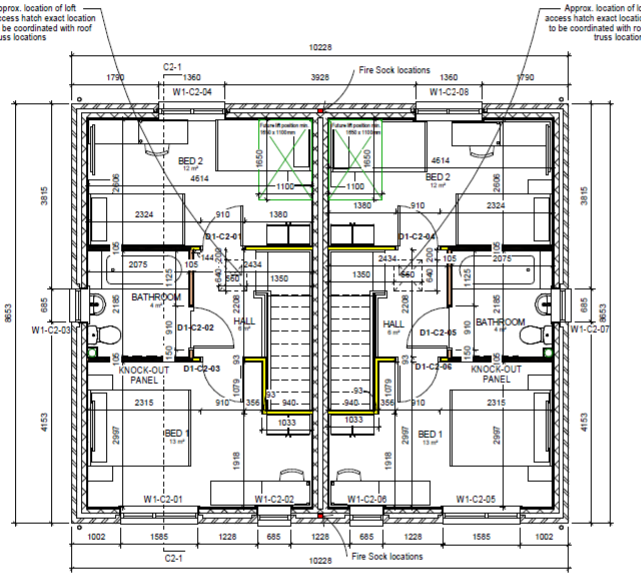
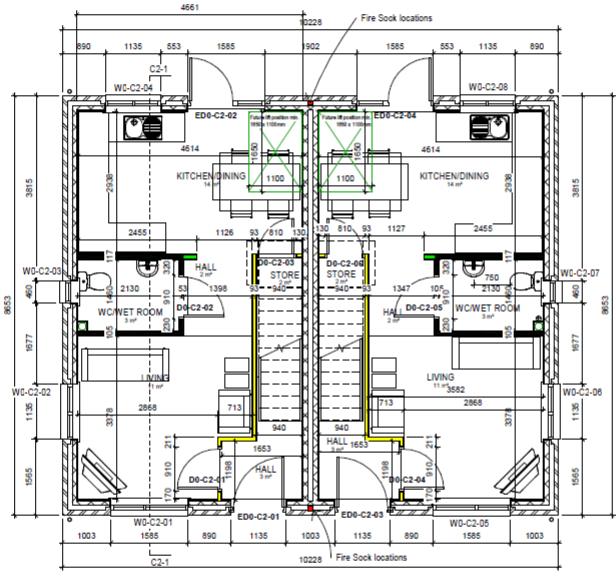
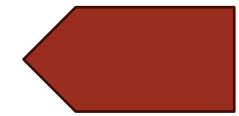
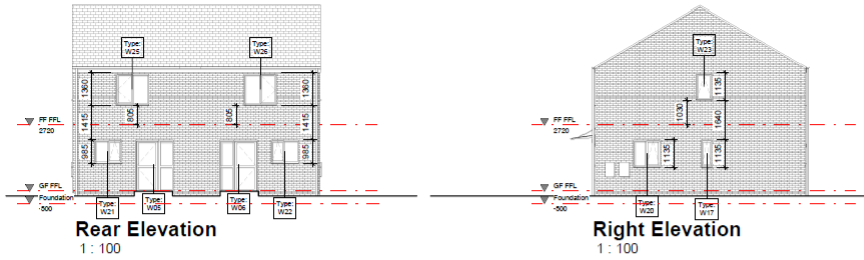
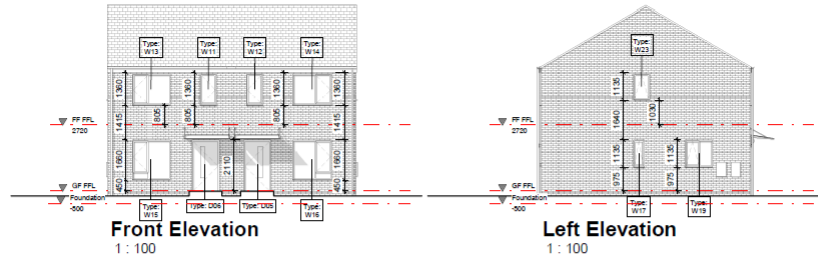
Client: CH

Location: P20

Drawn by: B1

Checked by: [Signature]

Approved by: [Signature]



DESIGN CRITERIA
 Building Regulations 2010 (2015 edition)
 Lifetime Homes (July 23 10)
 Design Quality Standards (Edition 2)
 Housing Quality Indicators (HQI)
 Secured by Design principles only
 Building for Life 12
 South Yorkshire Residential Design Guide 2011
 Ceiling heights - Ground floor 2.4m, 1st Floor 2.4m

NOTE:
 All ironmongery to be Lifetime Homes compliant
 Roof truss design to allow for potential hoist load. Hoist to be capable of lifting a weight of 30 stone (190.8kg)
 All switches to be rocker type (WAH)
 Smoke alarm reset to be at an accessible location (WAH)
 Radiator controls to be at an accessible location
 Lights to be provided over kitchen worktops
 MVHR unit located in loft

Internal Wall Types:

- Type A: 65mm (65mm stud with two layers of 12.5mm plasterboard with skim)
- Type B: 105mm (single layer of ply 12mm, 65mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C: 117mm (two layers of ply 12mm, 65mm stud with two layers of 12.5mm plasterboard with skim)

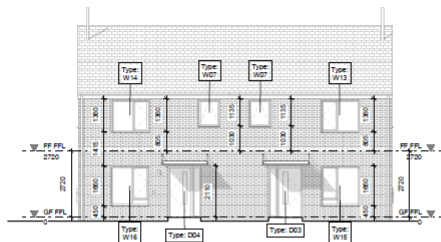
Dimensions shown are brick dimensions structural opening dimensions to be checked on site

Cavity fire barriers to be provided around every opening

Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at cable ends, at junction of party wall insulation and Kingspan insulation on stepped plots and to reduce any run of cavity to a maximum 20m length vertically and horizontally

Project Title New Council Housing Wheatthorpe, Sites A, B & C	
Drawing Title House Type C2 Working Drawings	
FOR RECORD	
Drawn by: AP / AE	Checked by: DA/12/19
Scale: 1:50	As Indicated
Project No: JRD00134	CR: JRD00134-MHA-C2-XX-DR-A-0001
Issue No: 1	Issue Date: 14/12/19
11 Langford Drive	11 Langford Drive
Sheffield	Sheffield
01 2957	01 2957

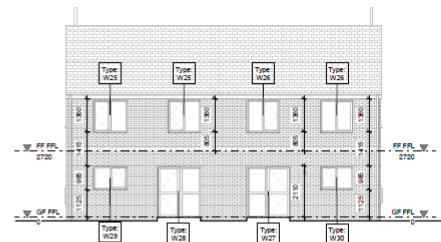




Front Elevation
1: 100



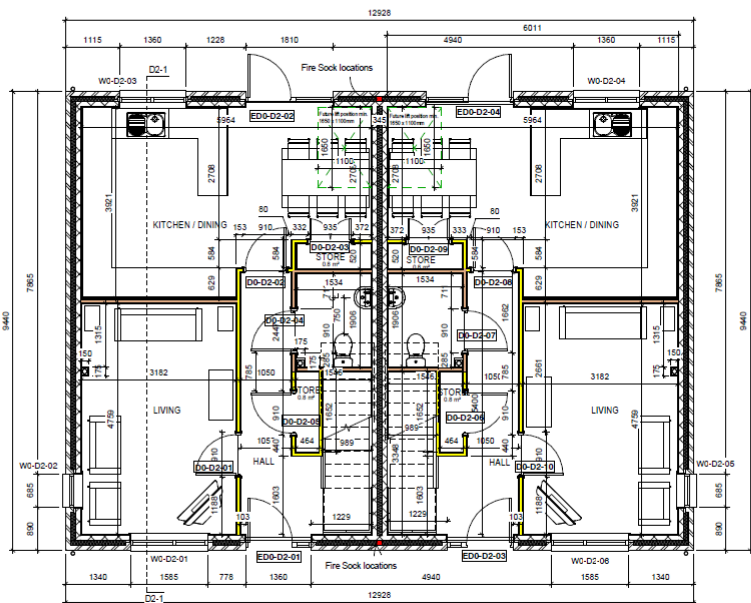
Left Elevation
1: 100



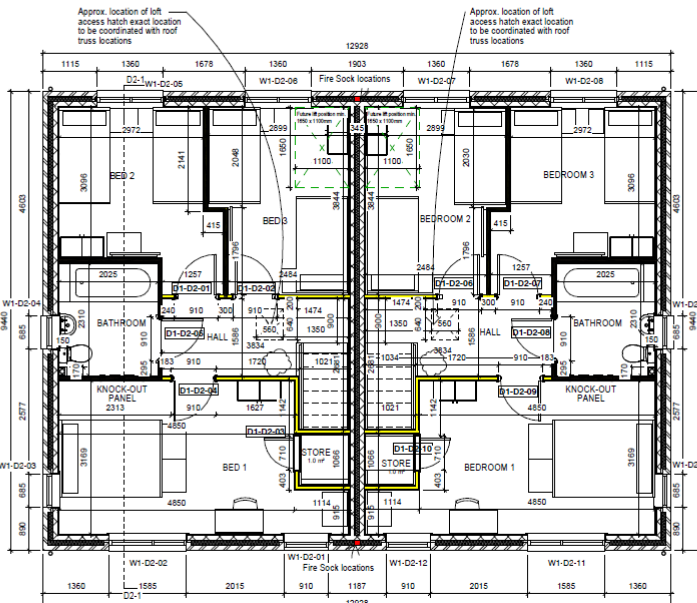
Rear Elevation
1: 100



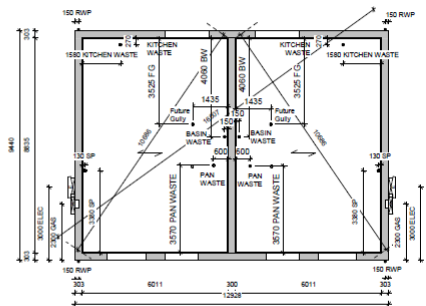
Right Elevation
1: 100



Ground Floor Plan
1: 50



First Floor Plan
1: 50



Foundation Plan
1: 100

DESIGN CRITERIA
 Building Regulations 2010 (2015 edition)
 Lifetime Homes (July 2310)
 Design Quality Standards (Edition 2)
 Housing Quality Indicators (HQI)
 Secured by Design principles only
 Building for Life 12
 South Yorkshire Residential Design Guide 2011
 - Ceiling heights - Ground floor 2.4m, 1st Floor 2.4m

NOTE:
 - All ironmongery to be Lifetime Homes compliant.
 - Roof truss design to allow for potential hoist load. Hoist to be capable of lifting a weight of 30 stone (190.5kg).
 - All switches to be rocker type (WAH).
 - Smoke alarm reset to be at an accessible location (SWA).
 - Radiator controls to be at an accessible location.
 - Lintels to be provided over kitchen worktops.
 - MVHR unit located in loft.

Internal Wall Types:

- Type A: 93mm (63mm stud with two layers of 12.5mm plasterboard with skim)
- Type B: 105mm (single layer of ply 12mm, 63mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C: 117mm (two layers of ply 12mm, 63mm stud with two layers of 12.5mm plasterboard with skim)

Dimensions shown are brick dimensions structural opening dimensions to be checked on site

Cavity fire barriers to be provided around every opening.
 Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at abutment ends, at junction of party wall insulation and masonry insulation on stepped plots and to reduce any run of cavity to a maximum 20m length vertically and horizontally

101	102	103	104	105	106	107	108	109	110
111	112	113	114	115	116	117	118	119	120

ENGIE

Housing

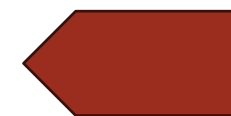
New Council Housing
 Stearns, Sites A, B & C

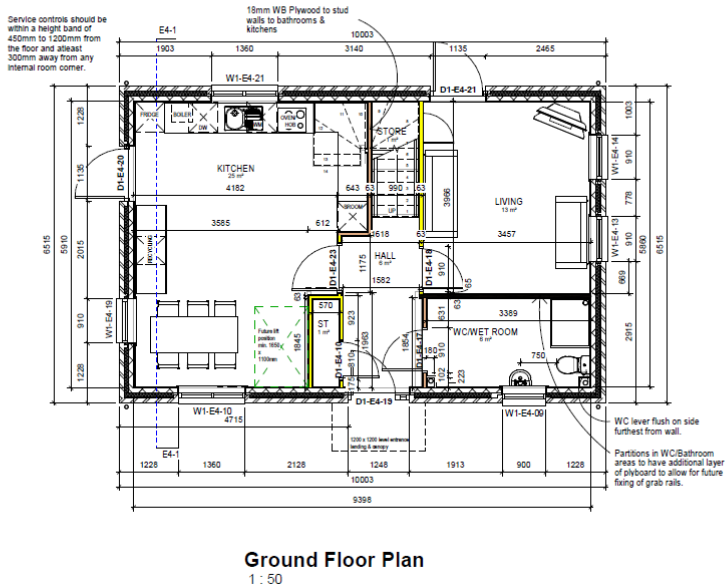
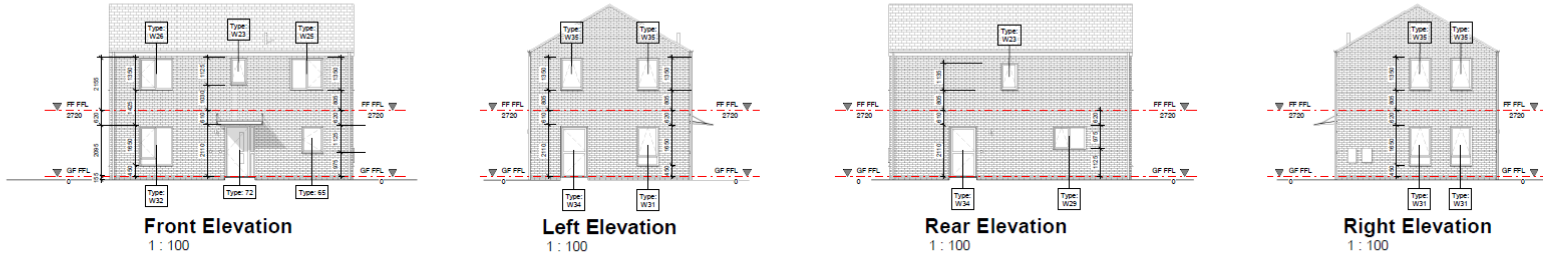
House Type: D2 Working Drawings

FOR RECORD

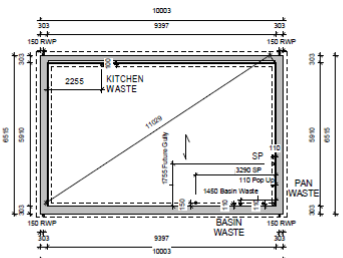
AP/AE: [Signature] Date: 16/16/19
 CR: [Signature] As Indicated

11 Langford Road | +44 (0)114 271 9400
 Sheffield | +44 (0)114 271 9400
 01 297 | www.engie.co.uk

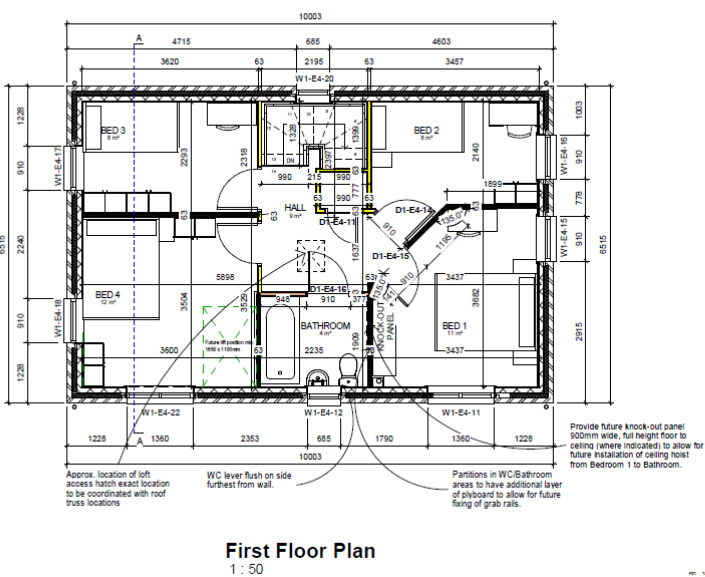




Ground Floor Plan
1 : 50



Foundation Plan
1 : 100



First Floor Plan
1 : 50

DESIGN CRITERIA
 Building Regulations 2010 (2015 edition)
 Lifetime Homes (July 23/10)
 Design Quality Standards (Edition 2)
 Housing Quality Indicators (HQI)
 Secured by Design principles only
 Building for Life 12
 South Yorkshire Residential Design Guide 2011
 Ceiling heights - Ground floor 2.4m, 1st Floor 2.4m

NOTE:
 All ironmongery to be Lifetime Homes compliant.
 Roof truss design to allow for potential hoist load.
 Hoist to be capable of lifting a weight of 30 stone (150.0kg)
 Ceiling heights - Ground floor 2.4m, 1st Floor 2.4m
 All switches to be rocker type (WAH)
 Smoke alarm reset to be at an accessible location (WAH)
 Radiator controls to be at an accessible location
 Lights to be provided over kitchen worktops
 MVHR unit located in loft

Internal Wall Types:

- Type A: 93mm (63mm stud with two layers of 12.5mm plasterboard with skim)
- Type B: 105mm (single layer of ply 12mm, 63mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C: 117mm (two layers of ply 12mm, 63mm stud with two layers of 12.5mm plasterboard with skim)

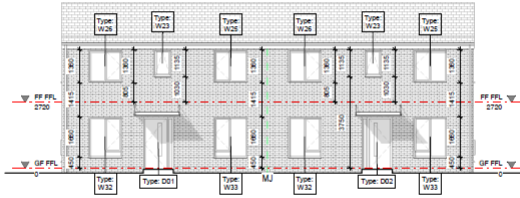
Dimensions shown are brick dimensions structural opening dimensions to be checked on site

Cavity fire barriers to be provided around every opening

Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at cable ends, at junction of party wall insulation and kitchen insulation on stepped joists, and to reduce any ten of cavity to a maximum 20mm length vertically and horizontally

Project Title: New Council Housing Wetherford, Sites A, B & C House Type: House Type E4 Working Drawings	
FOR RECORD	
Revision: 01 Description: Initial Design Date: 14/03/19	Approved By: [Signature] Date: 14/03/19
Project No: J00036-1004-04-00-0001 Scale: CR Drawing No: P21	
Contact: [Contact Information] 	

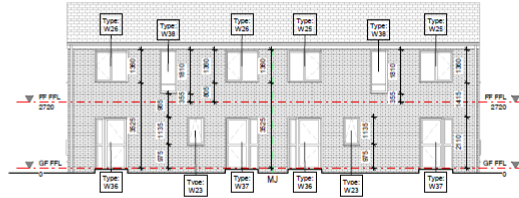




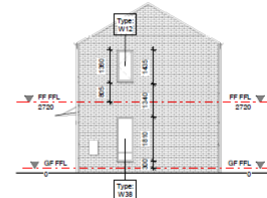
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1 : 100



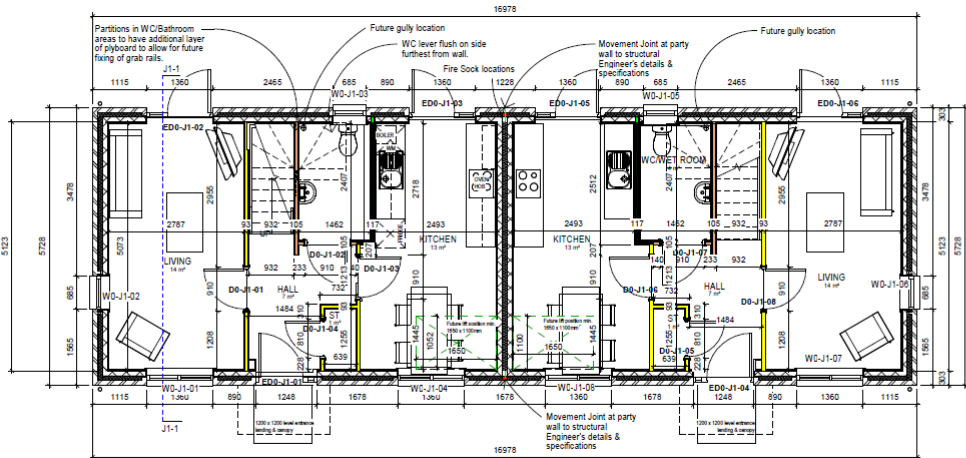
Left Elevation
1 : 100



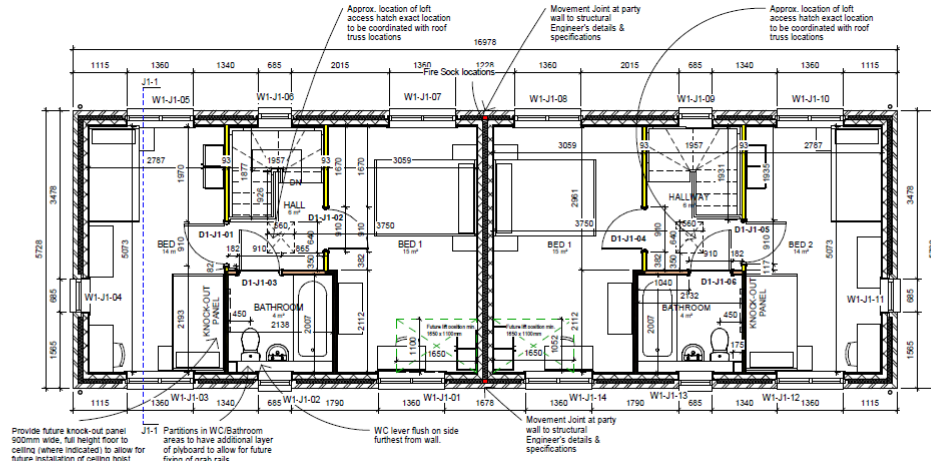
Rear Elevation
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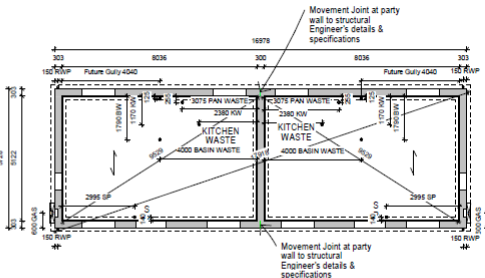
Right Elevation
1 : 100



Ground Floor Plan
1 : 50



First Floor Plan
1 : 50



Foundation Plan
1 : 100

DESIGN CRITERIA
 Building Regulations 2010 (2015 edition)
 Lifetime Homes (July 2310)
 Design Quality Standards (Edition 2)
 Housing Quality Indicators (HQI)
 Secured by Design principles only
 Building for Life 12
 South Yorkshire Residential Design Guide 2011
 Ceiling heights - Ground level 2.4m, 1st Floor 2.4m

NOTE:
 All ironmongery to be Lifetime Homes compliant
 Roof truss design to allow for potential road load.
 Hoist to be capable of lifting a weight of 30 stone (150.0kg)
 All switches to be rocker type (WAH)
 Smoke alarm reset to be at an accessible location (WAH)
 Radiator controls to be at an accessible location
 Lights to be provided over kitchen worktops
 M/V/R unit located in loft

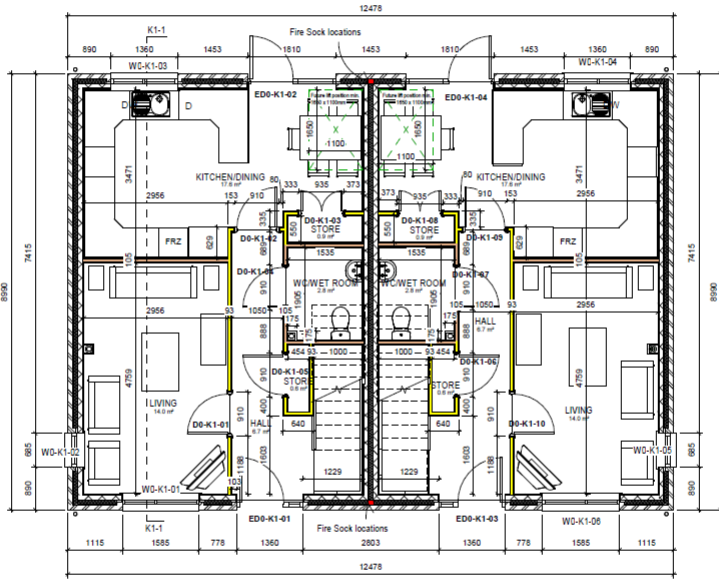
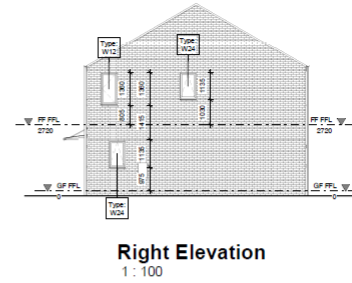
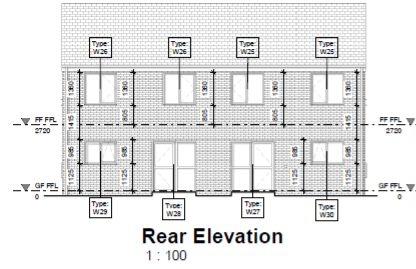
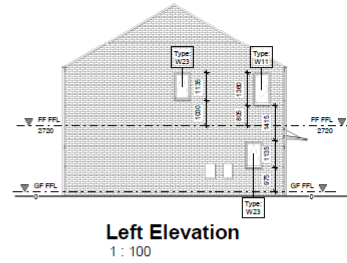
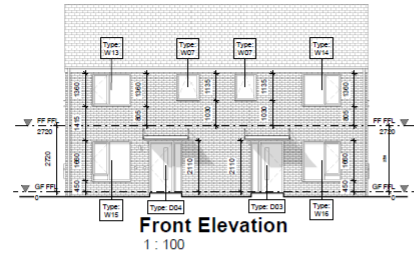
Internal Wall Types:

- Type A: 93mm (63mm stud with two layers of 12.5mm plasterboard with skim)
- Type B: 105mm (single layer of ply 12mm, 63mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C: 117mm (two layers of ply 12mm, 63mm stud with two layers of 12.5mm plasterboard with skim)

Dimensions shown are brick dimensions structural opening dimensions to be checked on site
 Cavity fire barriers to be provided around every opening
 Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at gable ends, at junction of party wall insulation and knipspan insulation on stepped plots and to reduce any run of cavity to a maximum 30m length vertically and horizontally

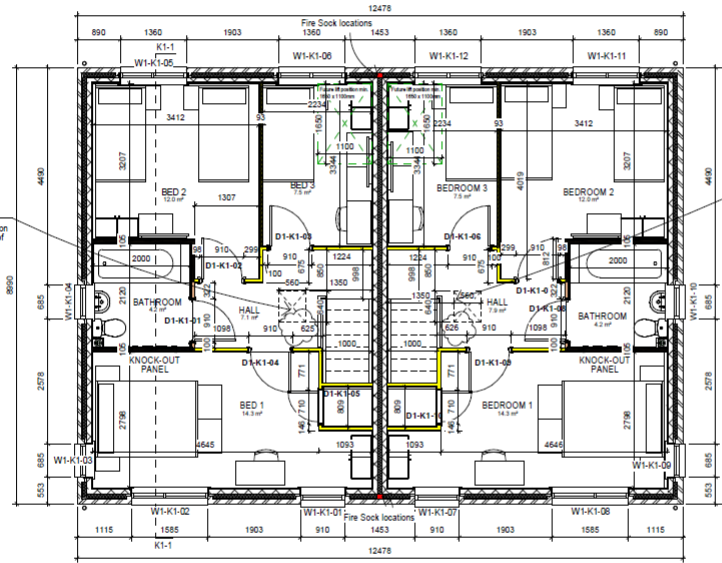
New Council Housing West Mills, Sites A, B & C House Type J1 Working Drawings	
FOR RECORD	
Drawing: AE/ICY Date: 04/12/19 Scale: As Indicated	Author: JLD Check: CR Title: P13
Name: Home 11 Langford Road Shefflat S1 2PP Tel: +44 (0)114 273 7333 Fax: +44 (0)114 275 2040 Email: info@mcshc.co.uk Website: www.mcshc.co.uk	





Approx. location of left access hatch exact location to be coordinated with roof truss locations

Approx. location of left access hatch exact location to be coordinated with roof truss locations



DESIGN CRITERIA
 - Building Regulations 2010 (2015 edition)
 - Lifetime Homes (July 23/10)
 - Design Quality Standards (Edition 2)
 - Housing Quality Indicators (HQI)
 - Secured by Design principles only
 - Building for Life 12
 - Countryside Residential Design Guide 2011
 - Ceiling heights - Ground floor 2.4m, 1st Floor 2.4m

NOTE:
 - All ironmongery to be Lifetime Homes compliant
 - Roof truss design to allow for potential roof load. Hoist to be capable of lifting a weight of 30 stone (190.5kg)
 - All exit doors to be rocker type (WAH)
 - Smoke alarm reset to be at an accessible location (WAH)
 - Radiator controls to be at an accessible location
 - Lights to be provided over kitchen worktop
 - MVHR unit located in loft.

Internal Wall Types:

- Type A: 80mm (63mm stud with two layers of 12.5mm plasterboard with skim)
- Type B: 105mm (single layer of ply 12mm, 63mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C: 117mm (two layers of ply 12mm, 63mm stud with two layers of 12.5mm plasterboard with skim)

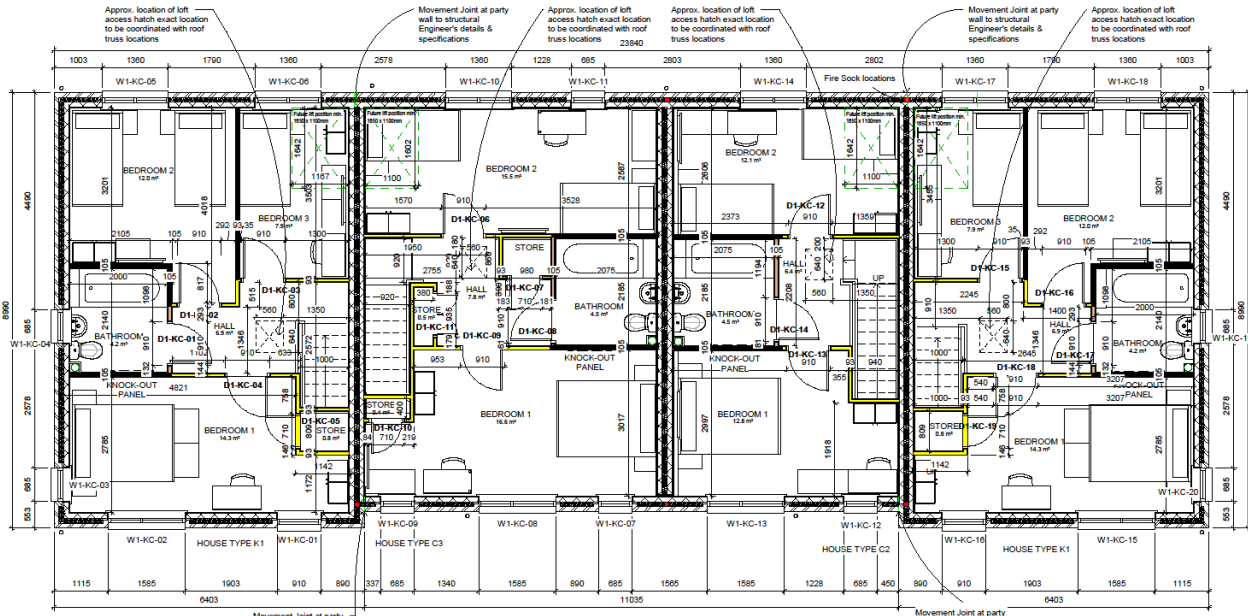
Dimensions shown are brick dimensions structural opening dimensions to be checked on site
 Cavity fire barriers to be provided around every opening
 Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at gable ends, at junction of party wall insulation and kneepoint insulation on stepped plots and to reduce any run of cavity to a maximum 20m length vertically and horizontally

Foundation Plan
1 : 100

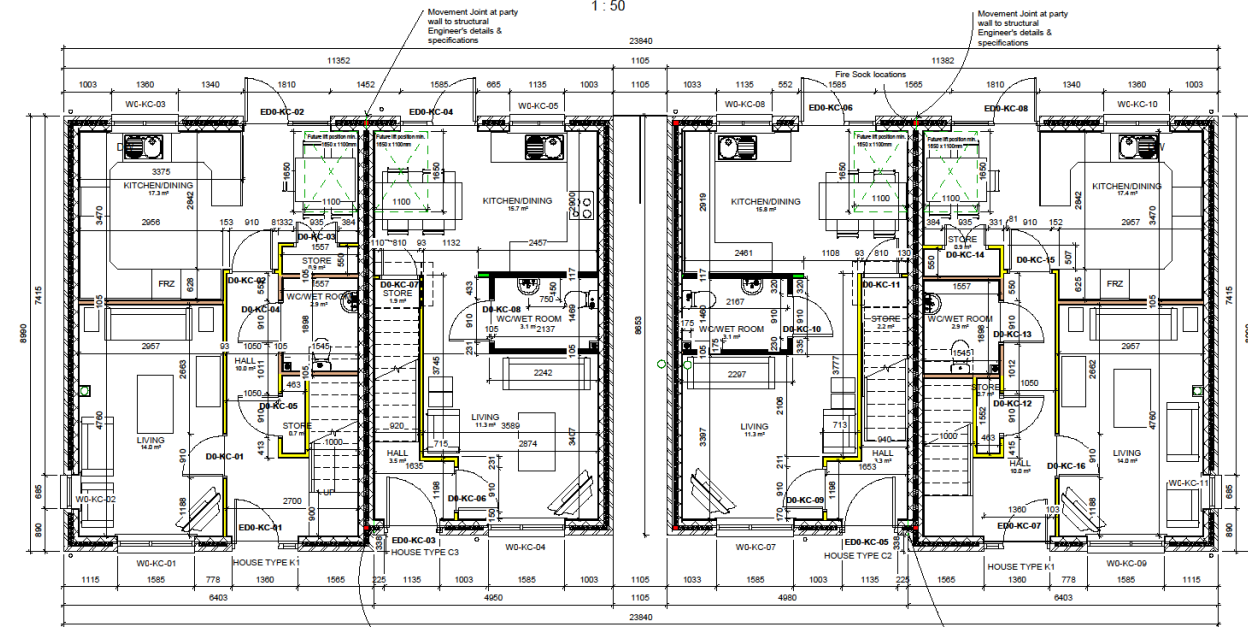
01 10201 Construction Notes
 02 10202 Construction Notes
 03 10203 Construction Notes
 04 10204 Construction Notes
 05 10205 Construction Notes
 06 10206 Construction Notes
 07 10207 Construction Notes
 08 10208 Construction Notes
 09 10209 Construction Notes
 10 10210 Construction Notes
 11 10211 Construction Notes
 12 10212 Construction Notes
 13 10213 Construction Notes
 14 10214 Construction Notes
 15 10215 Construction Notes
 16 10216 Construction Notes
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 19 10219 Construction Notes
 20 10220 Construction Notes
 21 10221 Construction Notes
 22 10222 Construction Notes
 23 10223 Construction Notes
 24 10224 Construction Notes
 25 10225 Construction Notes
 26 10226 Construction Notes
 27 10227 Construction Notes
 28 10228 Construction Notes
 29 10229 Construction Notes
 30 10230 Construction Notes
 31 10231 Construction Notes
 32 10232 Construction Notes
 33 10233 Construction Notes
 34 10234 Construction Notes
 35 10235 Construction Notes
 36 10236 Construction Notes
 37 10237 Construction Notes
 38 10238 Construction Notes
 39 10239 Construction Notes
 40 10240 Construction Notes

ENGIE
 Housing
 New Council Housing
 Westons, Sites A, B & C
 House Type K1 Working Drawings
FOR RECORD
 Date: 04/12/19
 Scale: As Indicated
 Drawing No: JRD0136
 Project No: JRD0136-104-K1-K100-DR-A-0001
 CR P15
 mha
 01 5971





First Floor Plan
1 : 50



Ground Floor Plan
1 : 50

- DESIGN CRITERIA**
- Building Regulations 2010 (2015 edition)
 - Lifetime Homes (July 2010)
 - Design Quality Standards (Edition 2)
 - Housing Quality Indicators (HQI)
 - Secured by Design principles only
 - Building for Life 12
 - South Yorkshire Residential Design Guide 2011
 - Ceiling heights - Ground floor 2.4m, 1st Floor 2.4m

- NOTE:**
- All ironmongery to be Lifetime Homes compliant
 - Roof truss design to allow for potential hoist load. Hoist to be capable of lifting a weight of 30 stone (190.5kg)
 - All switches to be rocker type (WAH)
 - Smoke alarm reset to be at an accessible location (WAH)
 - Radiador controls to be at an accessible location
 - Lights to be provided over kitchen worktops
 - MVR unit located in loft

Internal Wall Types:

- Type A:** 60mm (60mm stud with two layers of 12.5mm plasterboard with skim)
- Type B:** 105mm (single layer of aly 12mm, 63mm stud 2 layers of 12.5mm plasterboard with skim)
- Type C:** 117mm (two layers of aly 13mm, 63mm stud with two layers of 12.5mm plasterboard with skim)

Dimensions shown are brick dimensions structural opening dimensions to be checked on site

Cavity fire barriers to be provided around every opening

Fire sock to be provided to external wall cavity vertically and horizontally at party wall locations, at stable ends, at junction of party wall insulation and kinspan insulation on stepped plots and to reduce any run of cavity to a maximum 20m length vertically and horizontally

1	1:10	1:10	1:10
2	1:10	1:10	1:10
3	1:10	1:10	1:10
4	1:10	1:10	1:10
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7	1:10	1:10	1:10
8	1:10	1:10	1:10
9	1:10	1:10	1:10
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Client: Engie

Project Title: New Council Housing (Walsworth, Sites A, B & C)

Drawing Title: Block K1-C3-C2-K1 Working Drawings - Floor Plans

FOR RECORD			
DATE	BY	SCALE	REVISION
04/12/19	AE/ICV	1:50	1
04/12/19	CR	1:50	2
04/12/19	CR	1:50	3

Drawn: JRD/1541, JRD/1541, MHA-KC-XX-DR-A-001

Checked: JRD/1541, JRD/1541, MHA-KC-XX-DR-A-001

Scale: 1:50

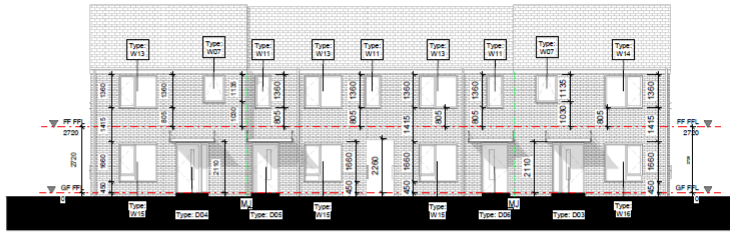
Project: 144 (08/14) 273 733

Location: 11 Leavelle Street, 11 Leavelle Street, 11 Leavelle Street, 11 Leavelle Street

Staff: JRD/1541, JRD/1541, MHA-KC-XX-DR-A-001

Date: 04/12/19





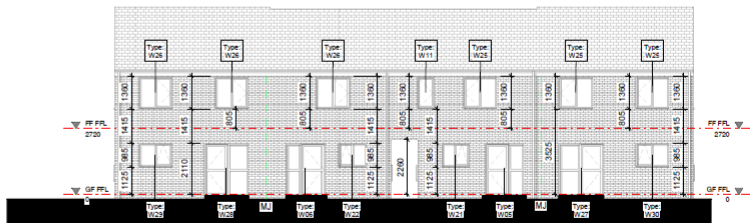
Front Elevation
1 : 100



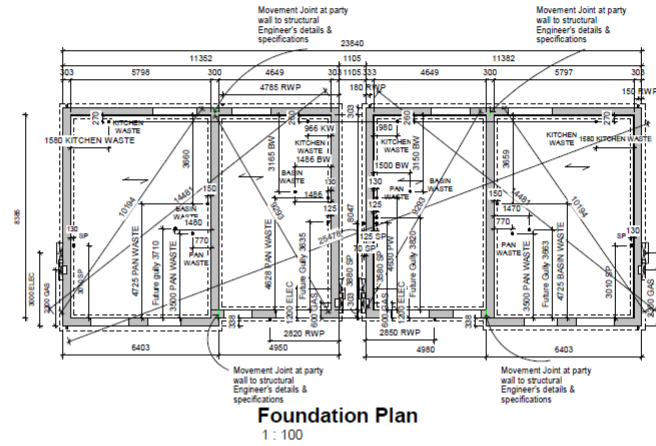
Left Elevation
1 : 100



Right Elevation
1 : 100



Rear Elevation
1 : 100



Foundation Plan
1 : 100

Dimensions shown are brick dimensions
structural opening dimensions to be checked
on site

Cavity fire barriers to be provided around
every opening

Fire sock to be provided to external wall cavity
vertically and horizontally at party wall
locations, at gable ends, at junction of party
wall insulation and knogspan insulation
on stepped parts and to reduce any run or
cavity to a maximum 20mm length vertically and
horizontally

1	1:100	01/11/19	1	1:100
2	1:100	01/11/19	1	1:100
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7	1:100	01/11/19	1	1:100
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20	1:100	01/11/19	1	1:100

ENGIE

Project Title
New Council Housing
Waverley, Sites A, B & C

Project File
Block K1-C2-C2K1 Working Drawings - Elevations & Foundation

Sheet
AS BUILT

Scale
1:100

Date
01/11/19

Author
P11

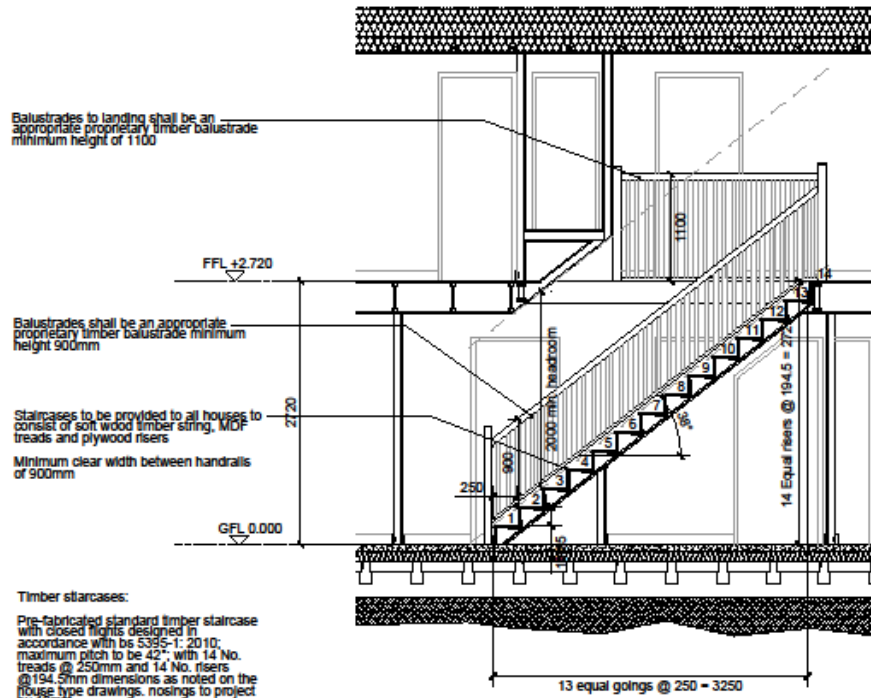
Alfred House 1 446 8214 272 733
11 Leighton Street P 446 8214 272 940
Sydney NSW 1588
www.engie.com.au



STAIR DETAILS

- Location Plan
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details ←
- Doors
- Boundary Details





Balustrades to landing shall be an appropriate proprietary timber balustrade minimum height of 1100

Balustrades shall be an appropriate proprietary timber balustrade minimum height 900mm

Staircases to be provided to all houses to consist of soft wood timber string, MDF treads and plywood risers

Minimum clear width between handrails of 900mm

Timber staircases:

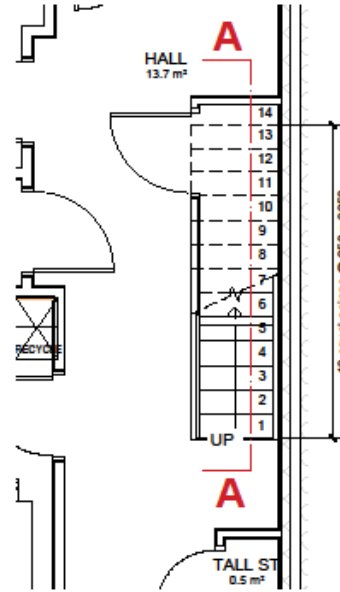
Pre-fabricated standard timber staircase with closed flights designed in accordance with BS 5395-1:2010; maximum pitch to be 42°; with 14 No. treads @ 250mm and 14 No. risers @ 194.5mm dimensions as noted on the house type drawings. nosings to project by 18mm.

900mm high hand rail on balustrade to stairs and 1100mm high balustrade to landings. minimum side width of 900mm. vertical regularly spaced balusters with max. 100mm gap between.

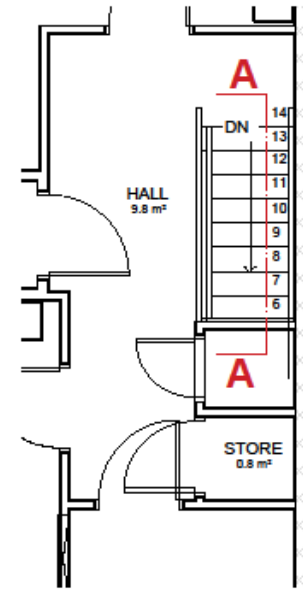
Stairs to be underdrawn with 12mm plasterboard and plaster skim coat

Height from line of nosings to soffit over, measured vertically to be not less than 2.0 metres

Stairs Section A-A
House Type A
1:50



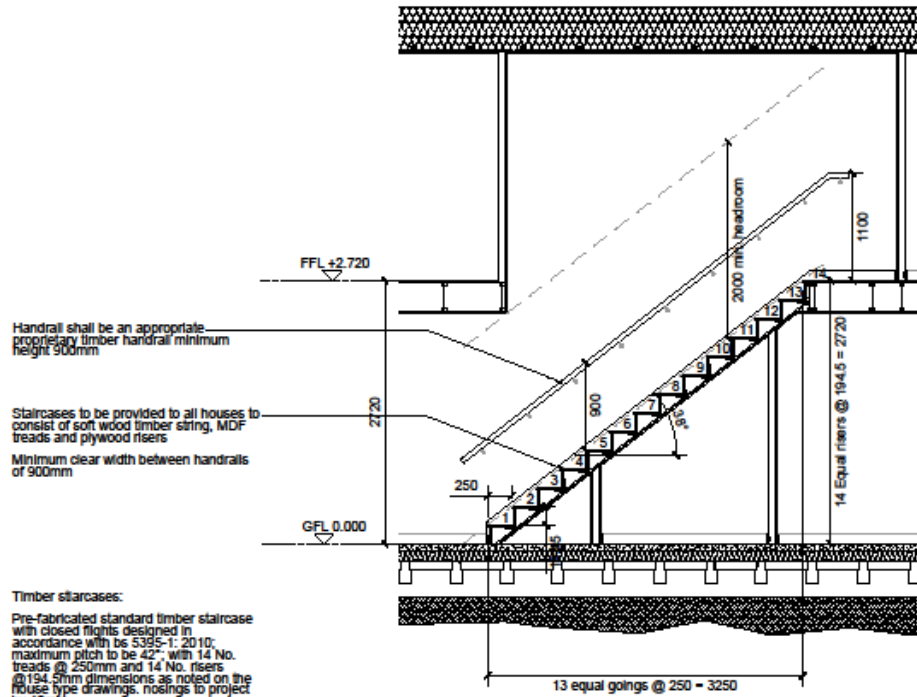
Ground Floor
Stairs Plan
House Type A
1:50



First Floor
Stairs Plan
House Type A
1:50

PI	13.01.21	Construction Record	JCK	CY
REV	DATE	DESCRIPTION	DW	CHK
CLIENT			ENGIE	
PROJECT TITLE				
New Council Housing Weeklands, Sites A, B & C				
DRAWING TITLE				
House Type A Stairs Details				
DRAWING PURPOSE				
FOR RECORD				
DESIGN / CHECKED	DATE	SCALE		
AP/AE	April 2019	1:50 @ A3		
JOB NO.	DRAWING NO.	FRAME	REVISION	
SEN3	MHA_A_XX_DR_A_5101	CR	P1	
51 Barton Arcade +44 (0)161 854 1018 Deansgate +44 (0)161 854 4750 Manchester contact@mhaarchitects.com M2 2BU www.mhaarchitects.com				





Handrail shall be an appropriate proprietary timber handrail minimum height 900mm

Staircases to be provided to all houses to consist of soft wood timber string, MDF treads and plywood risers

Minimum clear width between handrails of 900mm

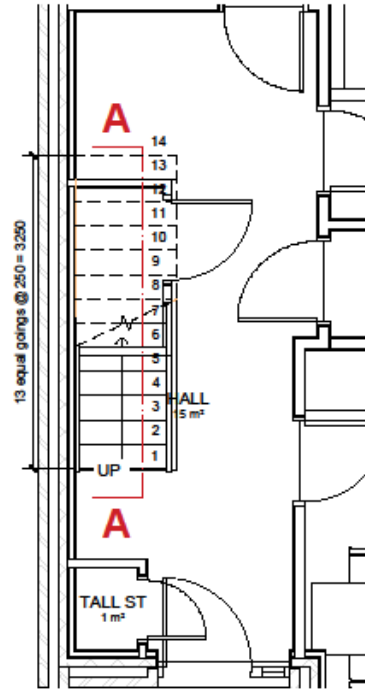
Timber staircases:
Pre-fabricated standard timber staircase with closed flights designed in accordance with BS 5395-1: 2010; maximum pitch to be 42°; with 14 No. treads @ 250mm and 14 No. risers @ 194.5mm dimensions as noted on the House type drawings; nosings to project by 18mm.

900mm high hand rail on balustrade to stairs and 1100mm high balustrade to landings; minimum stair width of 900mm; vertical regularly spaced balusters with max. 100mm gap between.

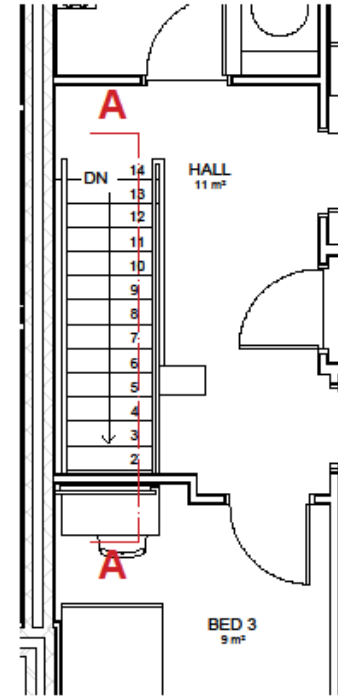
Stairs to be underdrawn with 12mm plasterboard and plaster skim coat

Height from line of nosings to soffit over, measured vertically to be not less than 2.0 metres

Stairs Section A-A
House Type B1
1:50



Ground Floor Stairs Plan
House Type B1
1:50



First Floor Stairs Plan
House Type B1
1:50

PI	13.01.21	Construction Record	JCK	CY
REV	DATE	DESCRIPTION	DW	CHK
PROJECT TITLE				
New Council Housing Weaklands, Sites A, B & C				
DRAWING TITLE				
House Type B1 Stairs Details				
DRAWING PURPOSE				
FOR RECORD				
DRAWN / CHECKED		DATE	SCALE	
AP/AE		April 2019	1:50 @ A3	
JOB NO.	DRAWING NO.	STATUS	REVISION	
SEN3	MHA_B1_XX_DR_A_5102	CR	P1	
01 Barton Arcade +44 (0)161 824 1010 Deansgate +44 (0)161 824 4750 Manchester contact@mhaarchitects.com M2 2BU www.mhaarchitects.com				



Balustrade to landing shall be an appropriate proportion. Timber balustrade minimum height of 1100

150x65 treated timber balustrade to structural grade (see notes) and specifications

Handrail shall be an appropriate proportion. Timber handrail minimum height 900mm

Staircases to be provided to all houses to consist of pre-fabricated timber string, MS-treads and plywood nosing

Minimum clear width between handrails of 900mm

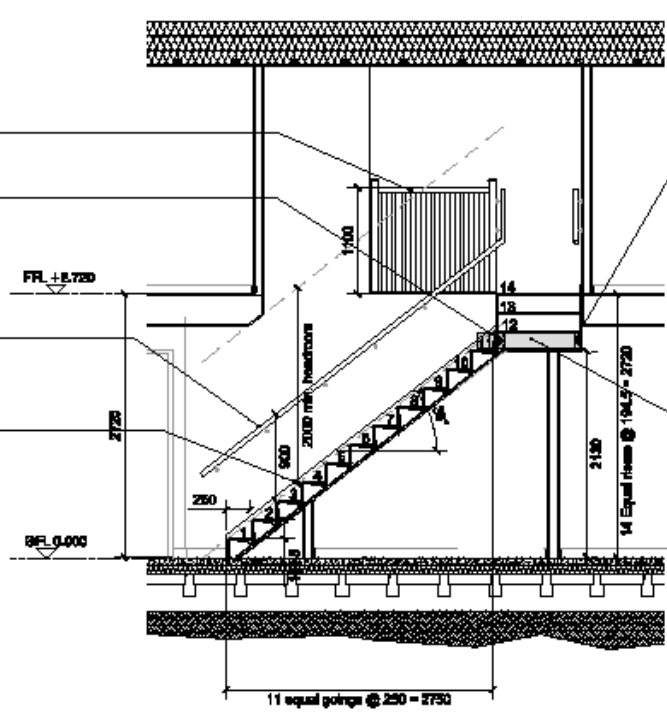
Timber stringers:

Pre-fabricated standard timber stringers with closed string designed in accordance with BS 5268-1:2010. maximum pitch to be 45° with 14 No. nosing @ 250mm and 14 No. treads @ 104 (min) dimensions as noted on the house type drawings. nosings to project by 18mm.

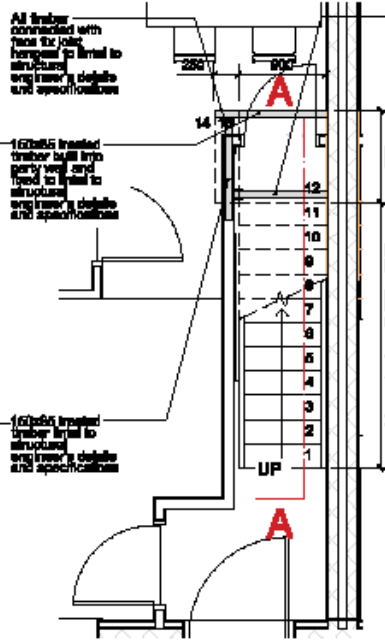
600mm high hand rail on balustrade to string and 1100mm high balustrade to landing. minimum clear width of 900mm. vertical balustrade spindles with max. 100mm gap between.

Stairs to be underlain with 12.5mm plasterboard and plaster skim coat

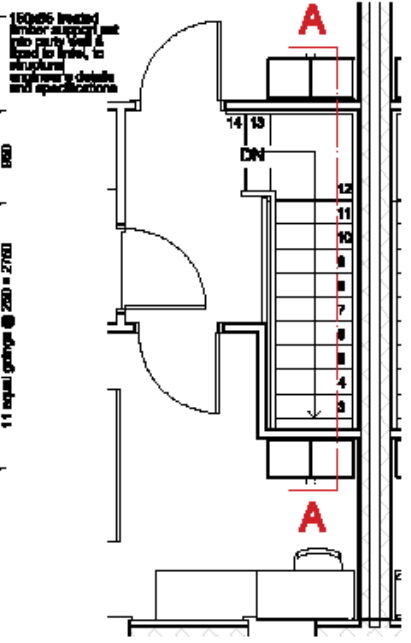
Height from line of nosings to soffit over, regulated vertically to be not less than 2.0 metres



Stairs Section A-A
House Type C2
1:50



Ground Floor Stairs Plan
House Type C2
1:50



First Floor Stairs Plan
House Type C2
1:50



PR	12/01/17	Revised/Revised	AK	CT
PI	04/08/18	2. Lining report/As built to structural engineer/Check and specifications	AC	CT
PO	02/07	Structural	BN	DN

ENGIE

PROJECT TITLE
New Council Housing
Wascards, Sites A, B & C

DISCIPLINE TITLE
House Type C2
Stairs Details

DISCIPLINE PURPOSE
FOR RECORD

OWNER / CLIENT	DATE	SCALE
AP/AC	April 2018	1:50 @ A3

JOB NO.	DISCIPLINE NO.	STYLE	REVISION
3EN3	MHA_C2_XX_DR_A_0103	CR	P2

01 Bruce Auld ☎ +61 (0)81 884 1018
 Doreen ☎ +61 (0)81 884 4788
 Matthew ☎ matthew@marshallmiller.com
 800 884 ☎ www.marshallmiller.com.au

marshallmiller
ARCHITECTS



Handrail shall be an appropriate proprietary timber handrail minimum height 900mm

150x65 treated timber lintel to structural engineer's details and specifications

150x65 treated timber built into party wall and fixed to structural engineer's details and specifications

Staircases to be provided to all houses to consist of soft wood timber string, MDF treads and plywood risers

Minimum clear width between handrails of 900mm

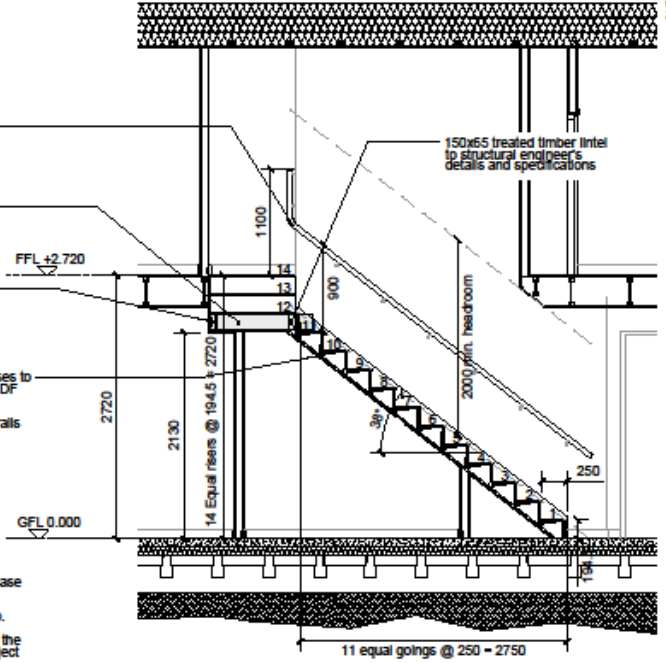
Timber staircases:

Pre-fabricated standard timber staircase with closed flights designed in accordance with BS 5395-1: 2010, maximum pitch to be 42° with 14 No. treads @ 250mm and 14 No. risers @ 194.5mm dimensions as noted on the house type drawings, nosings to project by 18mm.

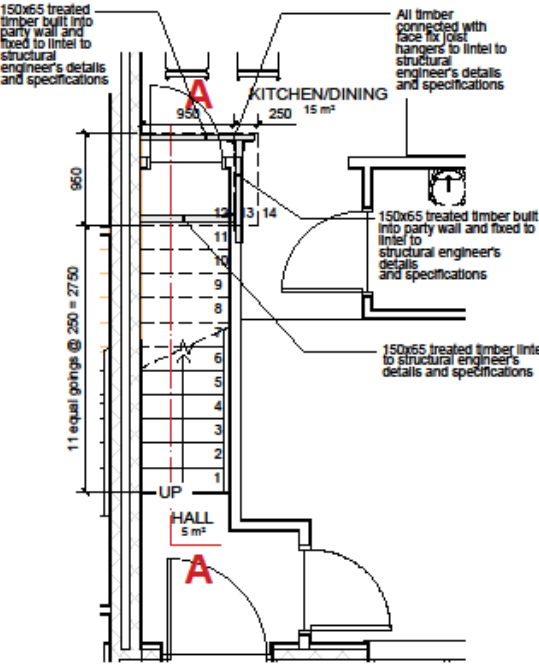
900mm high hand rail on balustrade to stairs and 1100mm high balustrade to landings, minimum stair width of 900mm, vertical regularly spaced balusters with max. 100mm gap between.

Stairs to be underdrawn with 12mm plasterboard and plaster skim coat

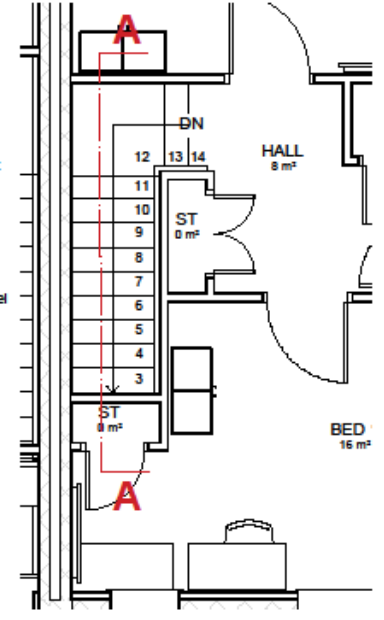
Height from line of nosings to soffit over, measured vertically to be not less than 2.0 metres



Stairs Section A-A
House Type C3
1:50



Ground Floor Stairs Plan
House Type C3
1:50



First Floor Stairs Plan
House Type C3
1:50

P2	12.01.21	Construction Record	JCK	CY
P1	24.08.19	Landing support added to structural engineer's details and specifications	AE	CY
REV	DATE	DESCRIPTION	BY	CHECK

ENGIE


PROJECT TITLE
New Council Housing
Weaklands, Sites A, B & C

DRAWING TITLE
House Type C3
Stairs Details

DRAWING PURPOSE
FOR RECORD

OWNER / CLIENT AP/AE	DATE April 2019	SCALE 1:50 @ A3
JOB NO. SEN3	DRAWING NO. MHA_C3_XX_DR_A_5104	REVISION CR P2

St Barton Arcade | +44 (0)161 824 1010
Deansgate | +44 (0)161 824 4750
Manchester | contact@mhaarchitects.com
M3 2BU | www.mhaarchitects.com





Balustrades to landing shall be an appropriate proprietary timber balustrade minimum height of 1100

Balustrades shall be an appropriate proprietary timber balustrade minimum height 900mm

Staircases to be provided to all houses to consist of soft wood timber string, MDF treads and plywood risers

Minimum clear width between handrails of 900mm

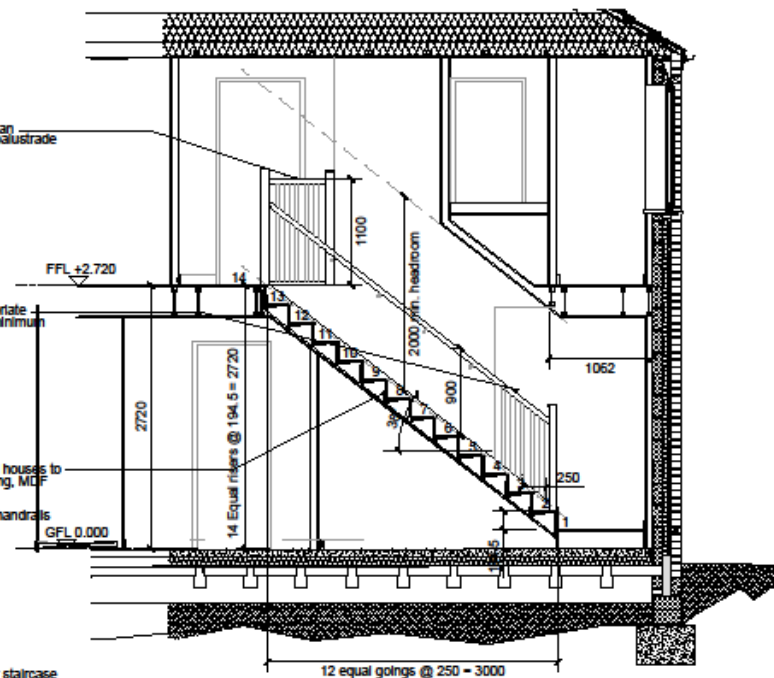
Timber staircases:

Pre-fabricated standard timber staircase with closed flights designed in accordance with BS 5395-1:2010; maximum pitch to be 42°, with 14 No. treads @ 250mm and 14 No. risers @ 194.5mm dimensions as noted on the house type drawings, nosings to project by 18mm.

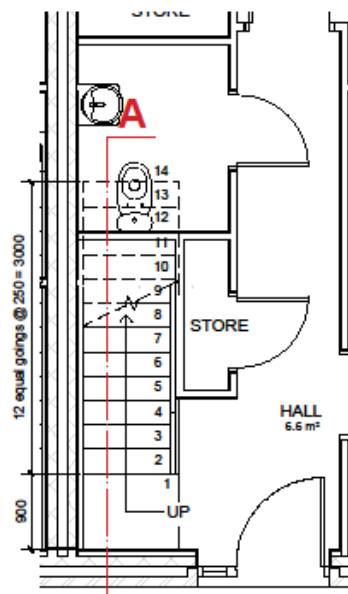
900mm high hand rail on balustrade to stairs and 1100mm high balustrade to landings, minimum stair width of 900mm, vertical regularly spaced balusters with max. 100mm gap between.

Stairs to be underdrawn with 12mm plasterboard and plaster skim coat

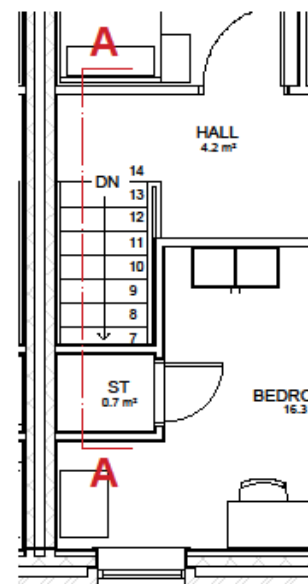
Height from line of nosings to soffit over, measured vertically to be not less than 2.0 metres



Stairs Section A-A
House Type D2
1:50



Ground Floor
Stairs Plan
House Type D2
1:50



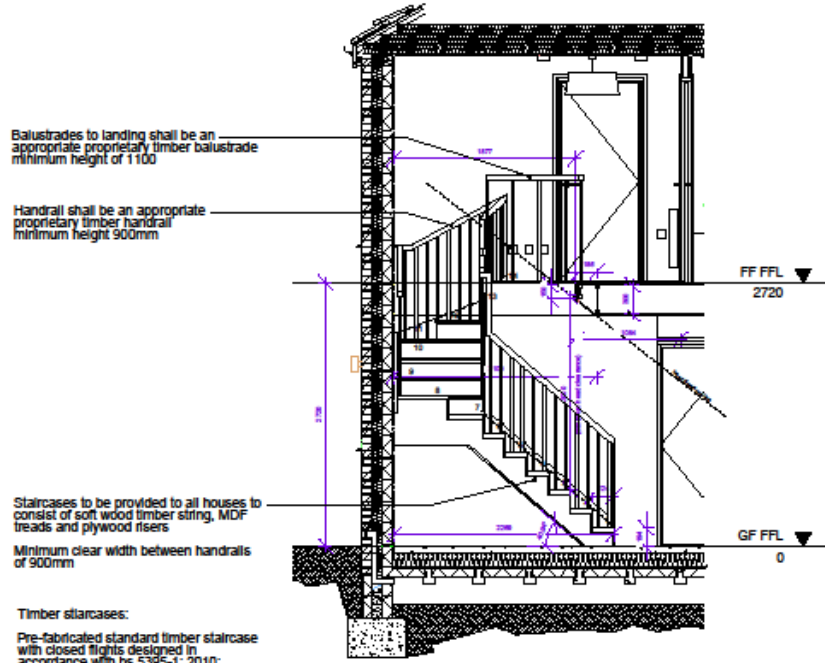
First Floor
Stairs Plan
House Type D2
1:50



P2	12.01.21	Construction Record	JCK	CY
P1	21.05.19	First floor partition revised	AE	CY
REV	DATE	DESCRIPTION	DWG	CHK

PROJECT TITLE New Council Housing Weaklands, Sites A, B & C			
DRAWING TITLE House Type D2 Stairs Details			
DRAWING PURPOSE FOR RECORD			
OWNER / CLIENT	DATE	SCALE	
AP/AE	April 2019	1:50 @ A3	
JOB NO.	DRAWING NO.	STATUS	REVISION
SEN3	MHA_D2_XX_DR_A_5105	CR	P2
51 Barton Arcade +44 (0)161 854 1018 Deansgate +44 (0)161 854 4750 Manchester contact@mhaarchitects.com M2 2BU www.mhaarchitects.com			





Balustrades to landing shall be an appropriate proprietary timber balustrade minimum height of 1100

Handrail shall be an appropriate proprietary timber handrail minimum height 900mm

Staircases to be provided to all houses to consist of soft wood timber string, MDF treads and plywood risers

Minimum clear width between handrails of 900mm

Timber staircases:

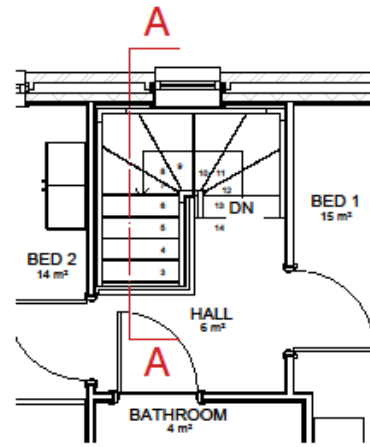
Pre-fabricated standard timber staircase with closed flights designed in accordance with BS 5395-1: 2010; maximum pitch to be 42°; with 14 No. treads @ 250mm and 14 No. risers @ 194.2mm dimensions as noted on the house type drawings, nosings to project by 18mm.

900mm high hand rail on balustrade to stairs and 1100mm high balustrade to landings, minimum stair width of 900mm, vertical regularly spaced balusters with max. 100mm gap between.

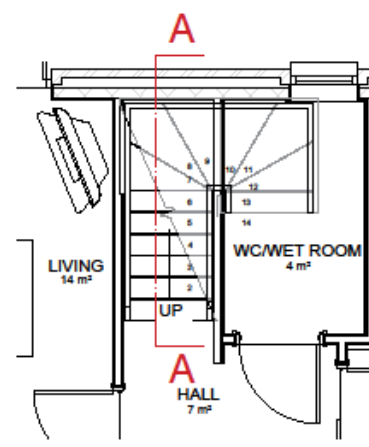
Stairs to be underdrawn with 12mm plasterboard and plaster skim coat

Height from line of nosings to soffit over, measured vertically to be not less than 2.0 metres

Stairs Section A-A
House Type J1
1:50





Ground Floor
Stairs Plan
House Type J1
1:50



First Floor
Stairs Plan
House Type J1
1:50



REV	DATE	DESCRIPTION	JOK	CF
P2	12.01.21	Construction Record	JOK	CF
P1	02.12.19	Update in line with Structural Engineers job drawings	JOK	CF
REV	DATE	DESCRIPTION	JOK	CF
				
PROJECT TITLE New Council Housing Weaklands, Sites A, B & C				
DRAWING TITLE House Type J1 Stairs Details				
FOR RECORD				
drawn / DwgCheck	date	scale		
AP/AE	April 2019	1:50 @ A3		
JOB No.	checked by	status	revision	
3EN3	MHA_J1_XX_DR_A_5107	CR	P2	
51 Barton Arcade +44 (0)141 224 1010 Deansgate +44 (0)141 224 4750 Manchester contact@mharchitects.com M3 2BU www.mharchitects.com				
				



Balustrades to landing shall be an appropriate proprietary timber balustrade minimum height of 1100

Balustrades shall be an appropriate proprietary timber balustrade minimum height 900mm

Staircases to be provided to all houses to consist of soft wood timber string, MDF treads and plywood risers
Minimum clear width between handrails of 900mm

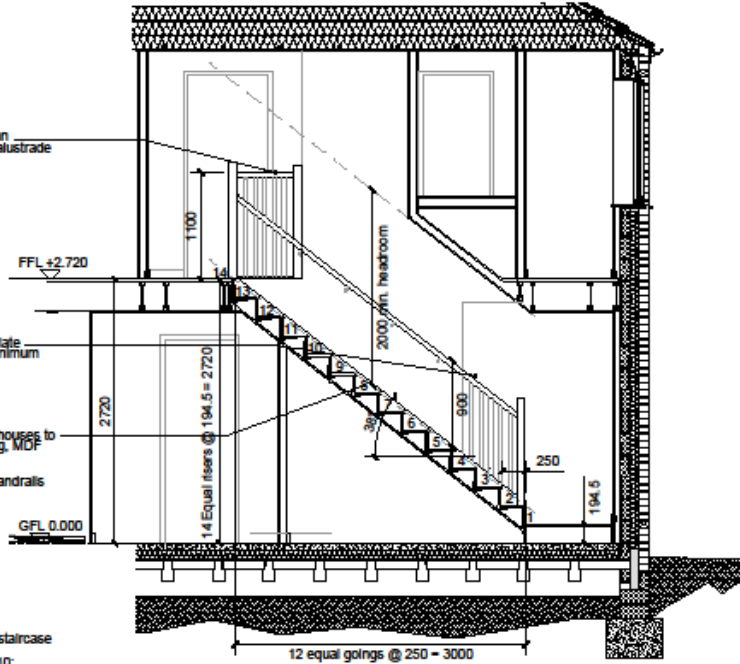
Timber staircases:

Pre-fabricated standard timber staircase with closed flights designed in accordance with BS 5395-1: 2010; maximum pitch to be 42° with 14 No. treads @ 250mm and 14 No. risers @ 194.5mm dimensions as noted on the house type drawings. nosings to project by 15mm.

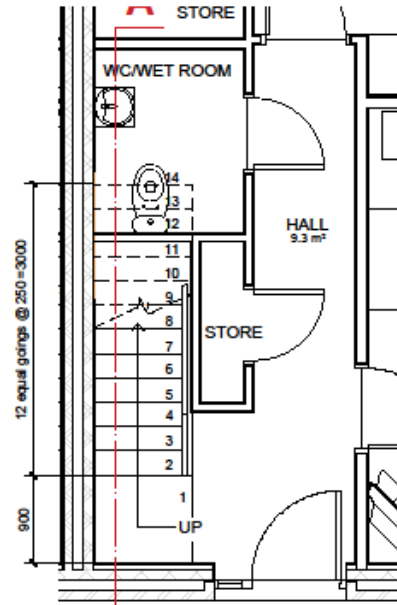
900mm high hand rail on balustrade to stairs and 1100mm high balustrade to landings. minimum clear width of 900mm, vertical regularly spaced balusters with max. 100mm gap between.

Stairs to be underdrawn with 12mm plasterboard and plaster skim coat

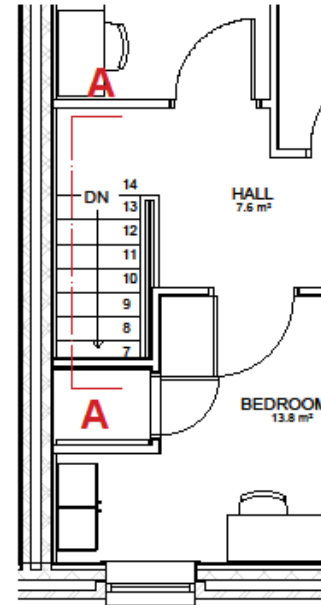
Height from line of nosings to soffit over, measured vertically to be not less than 2.0 metres



Stairs Section A-A
House Type K1
1:50



Ground Floor Stairs Plan
House Type K1
1:50



First Floor Stairs Plan
House Type K1
1:50

P2	12.01.21	Construction Record	JCK	CY
P1	21.05.19	First floor partition revised	AE	CY
REV	DATE	DESCRIPTION	BY	CHECK

PROJECT TITLE
New Council Housing
Weaklands, Sites A, B & C

DRAWING TITLE
House Type K1
Stairs Details

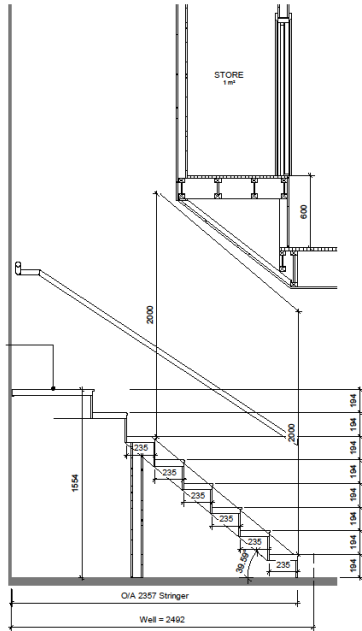
DRAWING PURPOSE
FOR RECORD

OWNER / CHECKED BY AP/AE	DATE April 2019	SCALE 1:50 @ A3	
JOB NO. SEN3	DRAWING NO. MHA_K1_XX_DR_A_5108	FORMAT CR	REVISION P2

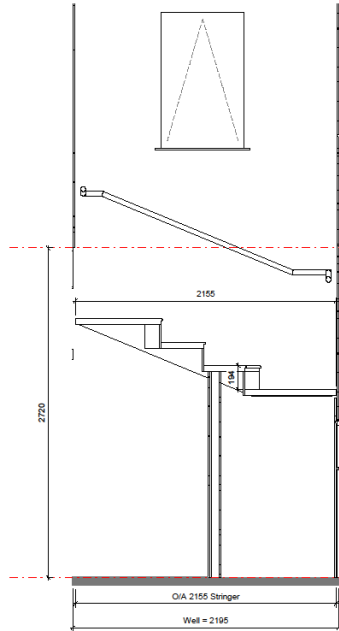
51 Barton Arcade | +44 (0)161 824 1010
Deansgate | +44 (0)161 824 4750
Manchester | contact@mhaarchitects.com
M2 2BU | www.mhaarchitects.com



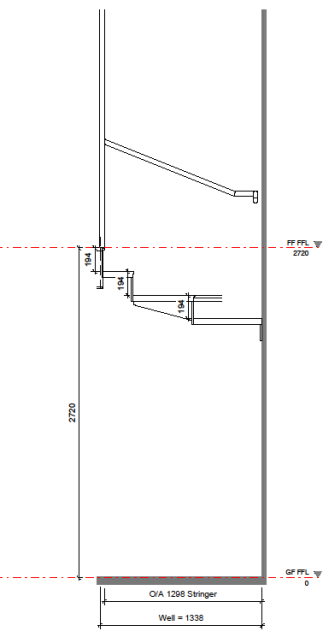
Staircases to consist of soft wood timber string, MDF treads and plywood risers to a minimum clear width between handrails of 900mm



Stair Section - Part A
1 : 20

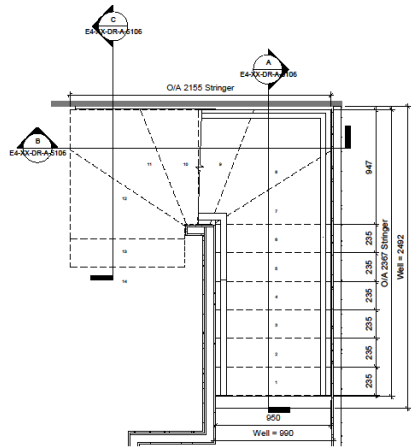


Stairs Section - Part B
1 : 20

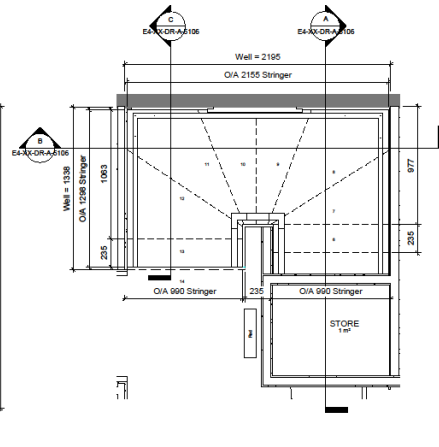


Stairs Section - Part C
1 : 20

Timber staircases:
Pre-fabricated standard timber staircase
Pitch to be 36.6° with 14 No. treads @ 235mm and 14 No. risers @ 194.3
house type drawings, nosings to project by 15mm.
900mm high hand rail on balustrade to landings, minimum stair width of 900mm, vertical regularly spaced balusters with max. 100mm gap between.
plasterboard and plaster skim coat



Stair Plan - Ground Floor
1 : 20



Stairs Plan - First Floor
1 : 20

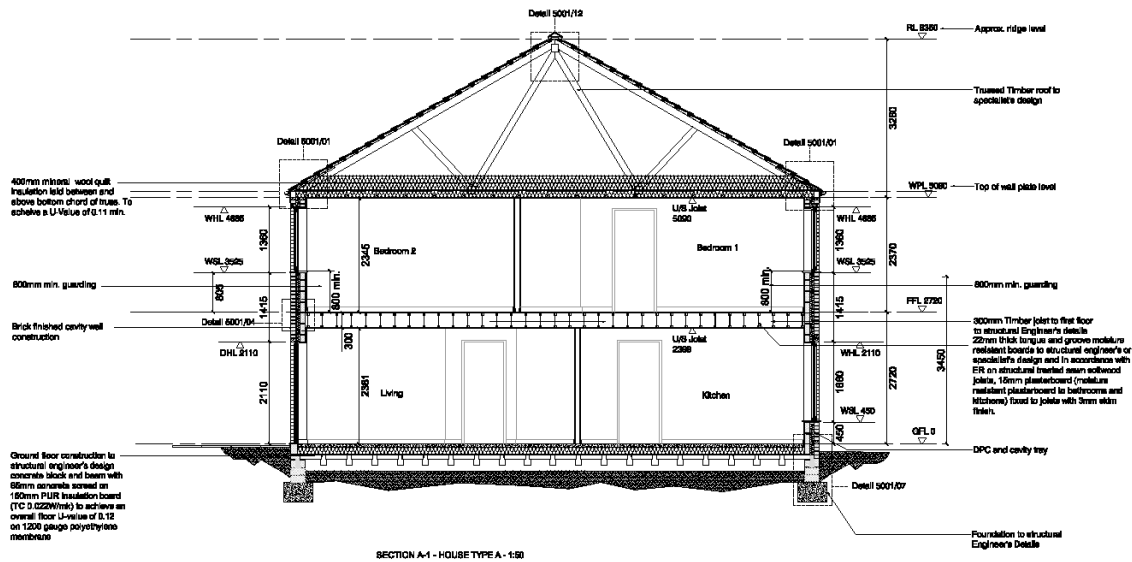
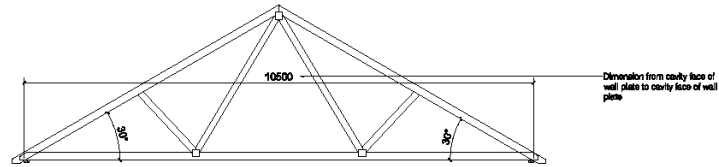
Housing	
PROJECT TITLE New Council Housing WALLINGBORO, ONSA, A, B & C	
DRAWING TITLE House Type E4 - Stairs Detail	
FOR RECORD	
DRAWING NO. 220520	DATE 22/05/20
DRAWN BY JCK / CV	CHECKED BY CR
PROJECT NO. JRD2154	PROJECT NAME JRD2154.MHA-E4.XX.DR.A-5106
SCALE 1:20	SHEET NO. PE
Allow House 1 441 08114 272 7123 11 Leavelle Street P 441 08114 272 5043 Staffordshire E 0800 0 200000 01 2007 www.engie.co.uk	



HOUSE SECTIONS

- Location Plan
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details ←
- Doors
- Boundary Details





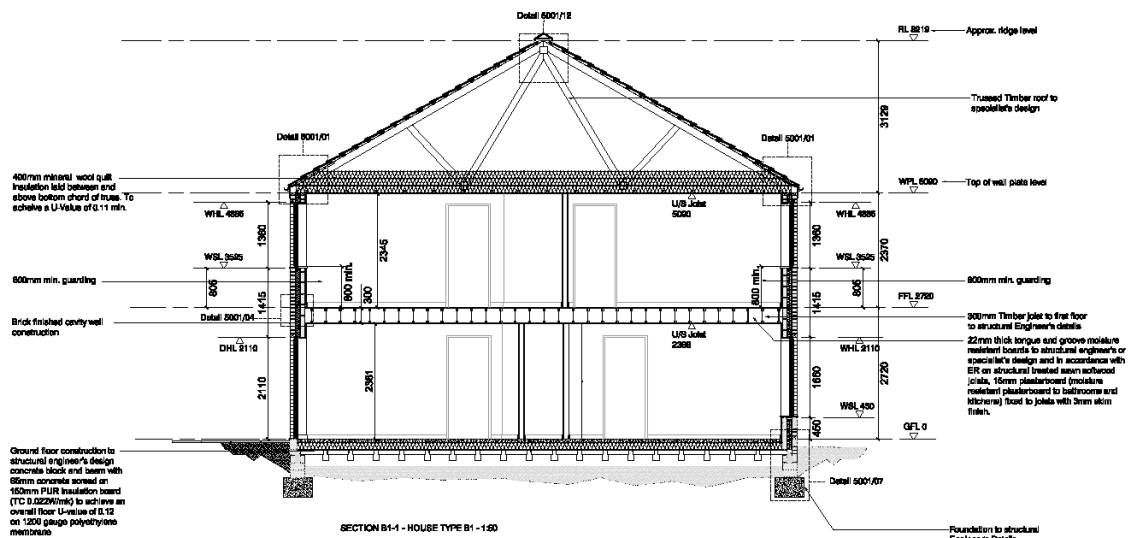
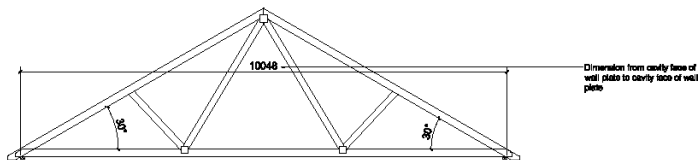
SECTION A-1 - HOUSE TYPE A - 1:50



New Council Housing Waddicks, Sites A, B & C	
House Type A Section A-1	
AS BUILT	
DATE: April 2019	SHEET: 1:50 @ A1
DRAWN BY: [Name]	CHECKED BY: [Name]
APPROVED BY: [Name]	DATE: [Date]
PROJECT: [Project Name]	CLIENT: [Client Name]
CONTACT: [Contact Info]	

For wall, roof and floor junction details refer to drawing 5001
 For window head, window sill, door head and door sill details refer to drawing 5002

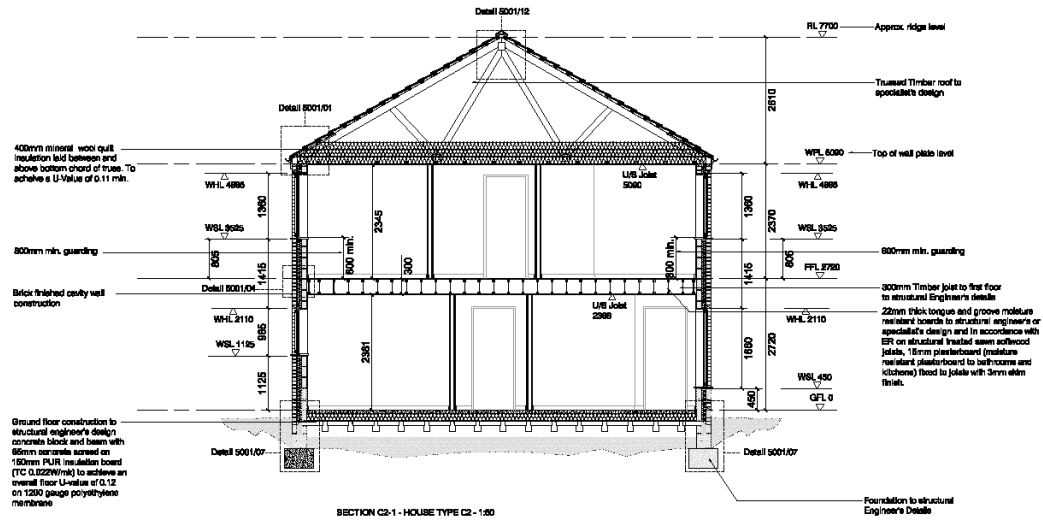
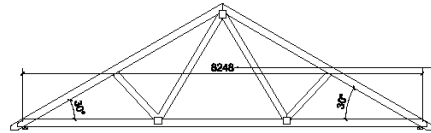




For wall, roof and floor junction details refer to drawing 5001
For window head, window sill, door head and door sill details refer to drawing 5002

Project Name Now Council Housing Westside, Sites A, B & C	
Drawing Title House Type B1 Section B1-1	
Drawing Code AS BUILT	
Issue Number 001	Issue Date April 2019
Agency ENGIE	Scale 1:50 @ A1
Designer [Name]	Checker [Name]
Date [Date]	Project No. [Number]
Website www.johnlewis.com	

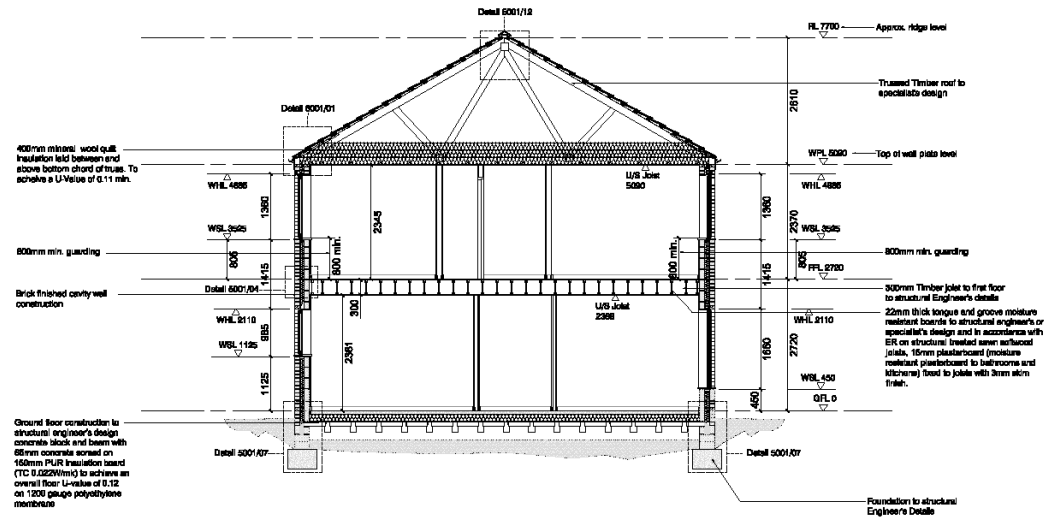
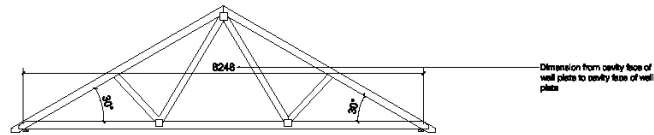




PROJECT Now Council Housing Westside Sites A, B & C	
DRAWING House Type C2 Section C2-1	
AS BUILT	
DATE	April 2019
SCALE	1:50 @ A1
DESIGNED BY	AB
CHECKED BY	PR
DATE	14/07/2019
DRAWN BY	14/07/2019
SCALE	1:50 @ A1
DATE	14/07/2019
SCALE	1:50 @ A1

For wall, roof and floor junction details refer to drawing 5001
For window head, window sill, door head and door sill details refer to drawing 5002





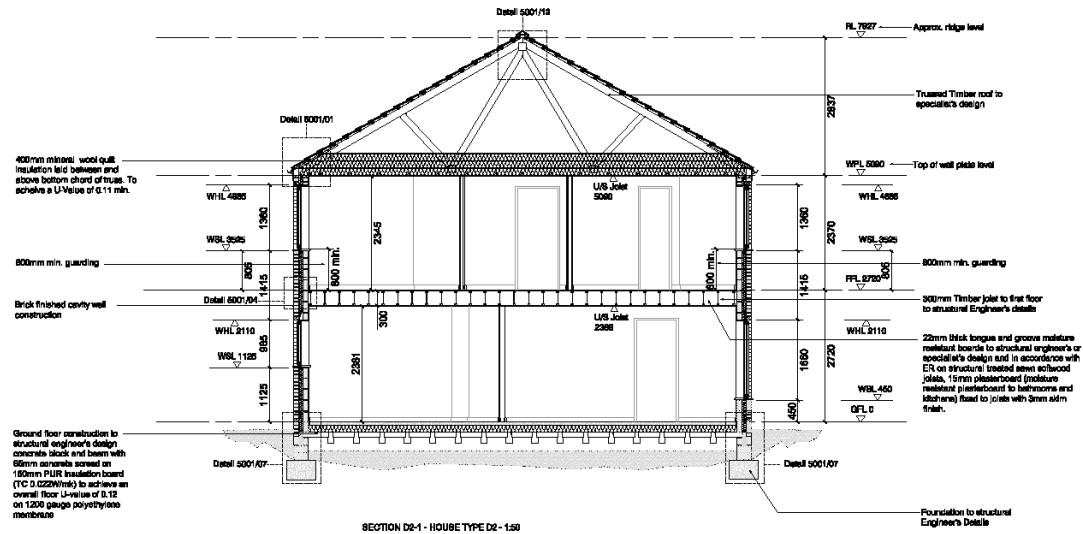
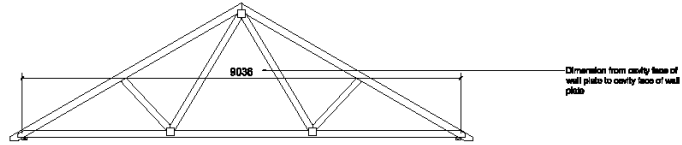
SECTION C3-1 - HOUSE TYPE C3 - 150



For wall, roof and floor junction details refer to drawing 6001
For window head, window sill, door head and door sill details refer to drawing 5002

<p>New Council Housing Westlands, Sites A, B & C</p>	
<p>House Type C3 Section C3-1</p>	
<p>AS BUILT</p>	
DATE	May 2019
SCALE	1:50 @ A1
DESIGNER	MB
CHECKED	PF
<p>41 Westlands - t: +61 (0) 8 94 1100 Dandenong - t: +61 (0) 3 90 9300 Melbourne - e: enquiries@mhba.com.au NSW - e: www.mhba.com.au</p>	

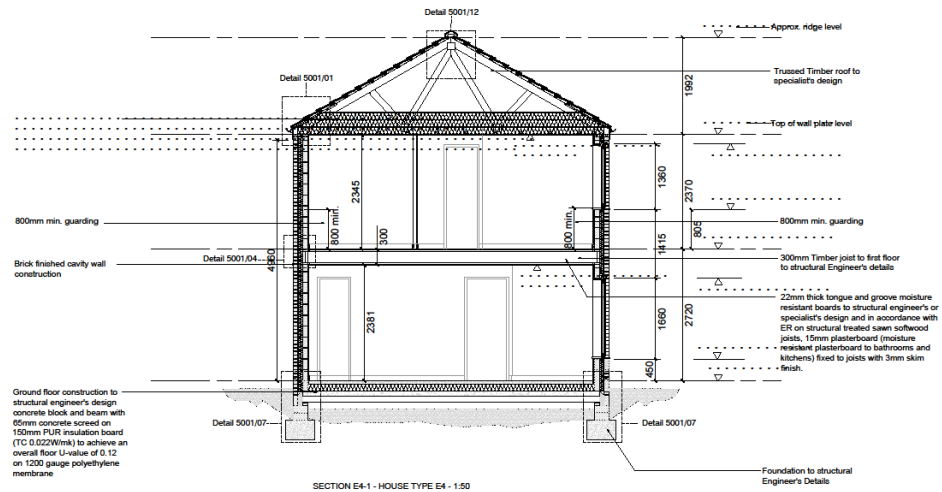
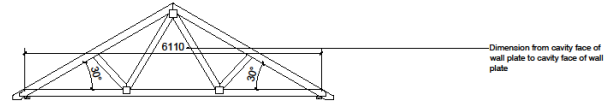




New Council Housing Windwick, Sites A, B & C	
House Type D2 Section D2-1	
AS BUILT	
DATE: May 2018 SCALE: 1:50 @ A1	DRAWN: AD CHECKED: PE
41 Deer Park • Tel: 011 84 1100 Dunfermline • Tel: 011 291 2100 Website: • www.asbuilt.co.uk 18 58 • www.asbuilt.co.uk	

For wall, roof and floor junction details refer to drawing 6001
 For window head, window sill, door head and door sill details refer to drawing 5002

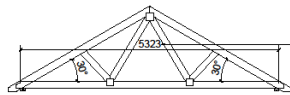




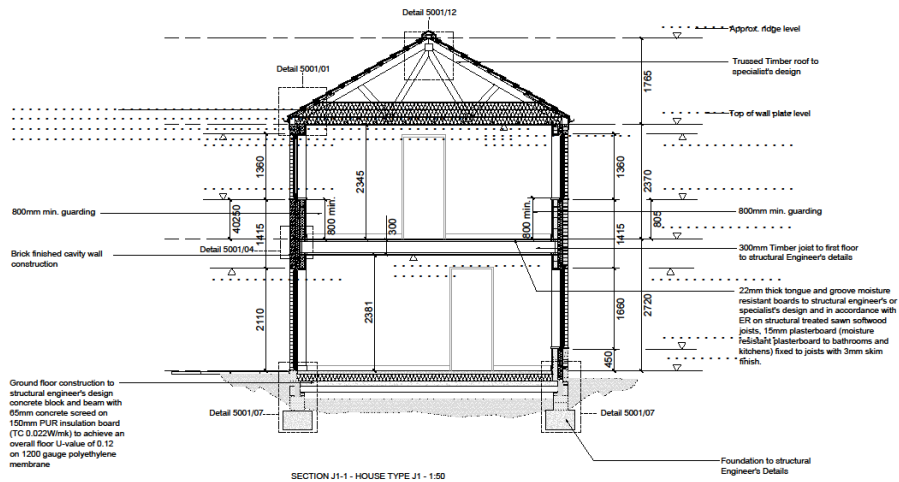
<p>Project Name: New Council Housing Woodlands, Sites A, B & C</p>			
<p>House Type: House Type E4 Section: Section E4-1</p>			
Project Code:	Issue:	Date:	Scale:
AEICV	May 2019	1:50 @ A1	
Project Ref:	Drawn By:	Checked By:	Scale:
JR001841	MVA_E4_XL_DR_A_4006	AS	PS
<p>51 Batten Avenue +61 (0)3 93 93 1719 Melbourne +61 (0)3 93 93 1719 Melbourne +61 (0)3 93 93 1719 www.enq.com.au</p>			

For wall roof and floor junction details refer to drawing 5001
 For window head, window sill, door head and door sill details refer to drawing 5002





Dimension from cavity face of wall plate to cavity face of wall plate

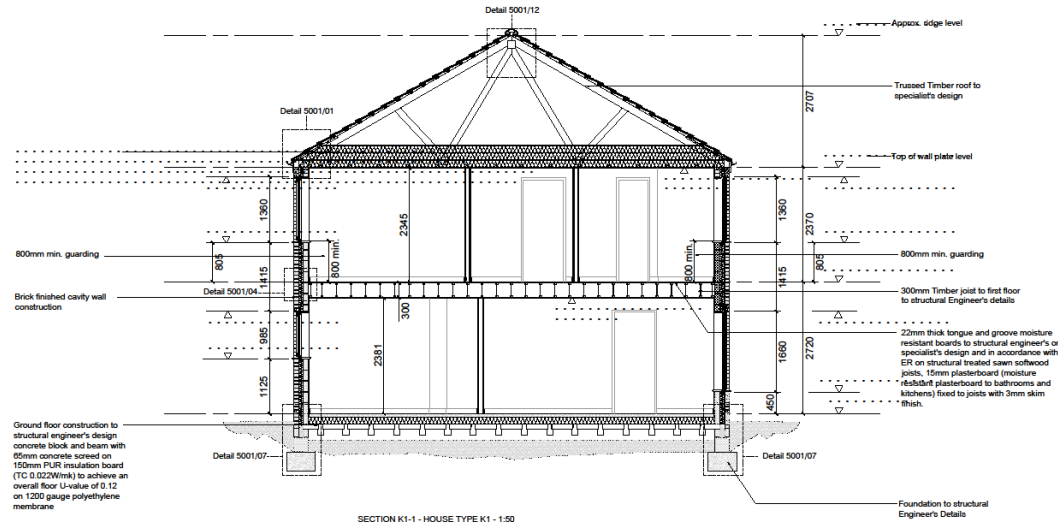
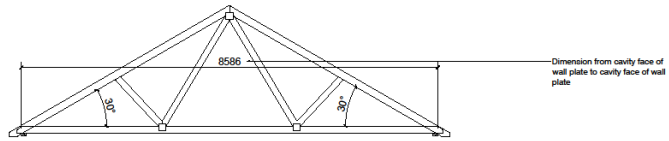


SECTION J1-1 - HOUSE TYPE J1 - 1:50

For wall roof and floor junction details refer to drawing 5001
For window head, window sill, door head and floor sill details refer to drawing 5002

<p>Project Name New Council Housing Woodlands, Sites A, B & C</p> <p>Project Location House Type J1 Section J1-1</p>			
AS BUILT			
Project Code AEICY	Date May 2019	Scale 1:50 @ A1	Sheet No. PS
Revision J1001841	Revision MHA_J1_XR_DR_A_4007	Revision AB	Revision PS
<p>51 Batten Avenue +61 (0)11 824 1718 Melbourne +61 (0)3 9414 0766 Melbourne +61 (0)3 9414 0766 MHA 250 www.mhaarchitects.com</p>			





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ENGIE
 Project Name
New Council Housing
 Woodlands, Sites A, B & C
 Project Number
House Type K1
Section K1-1
 Project Manager
AS BUILT
 Project Manager
AEICY Date: **May 2019** Scale: **1:50 @ A1**
 Drawing Number: **JR001841** / **MVA_R1_XR_DR_A_4008** Sheet: **A8** of **PS**
 11 Batten Avenue | +61 (0)11 824 1212
 Melbourne | +61 (0)3 941 6176
 Melbourne | +61 (0)3 941 6176
 180 264 | www.engage.com.au

mha
 ARCHITECTS

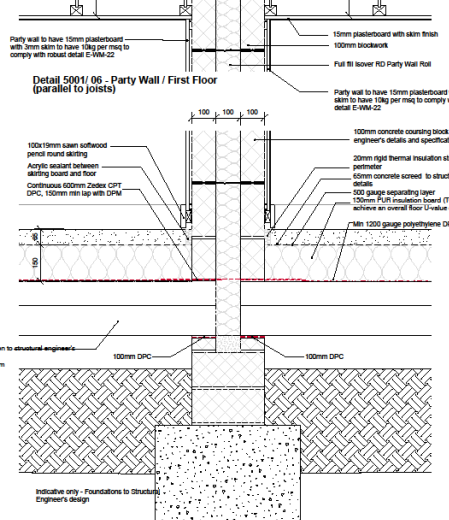
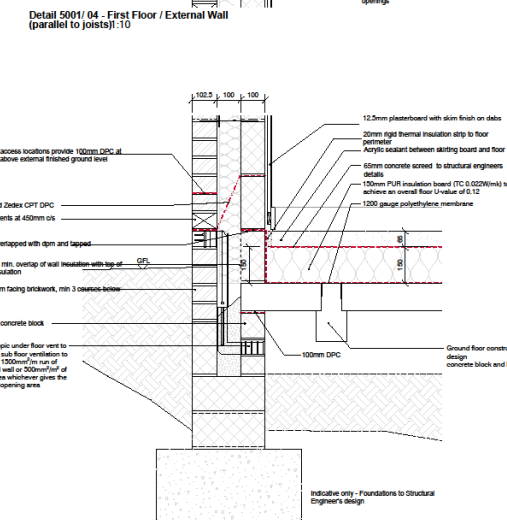
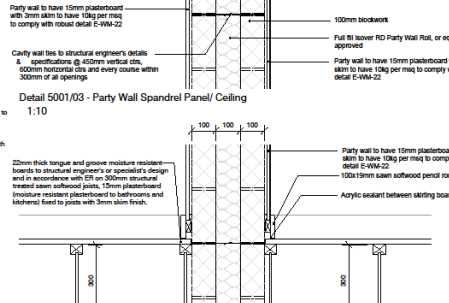
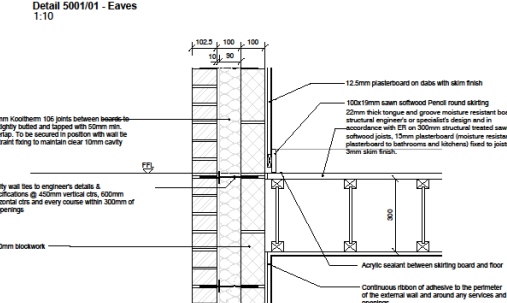
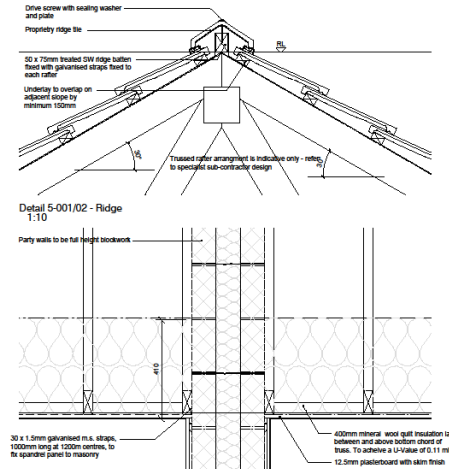
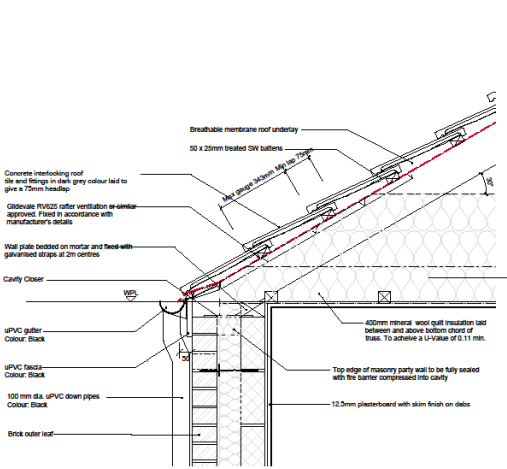
For wall roof and floor junction details refer to drawing 5001
 For window head, window sill, door head and floor sill details refer to drawing 5002



HOUSE DETAILS

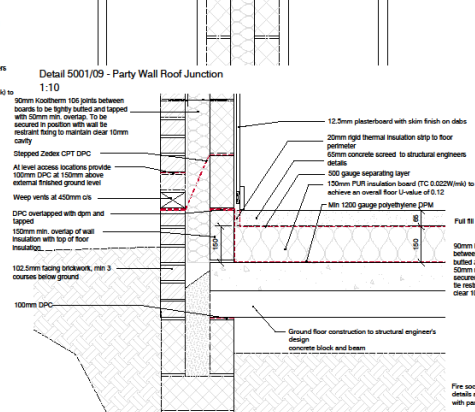
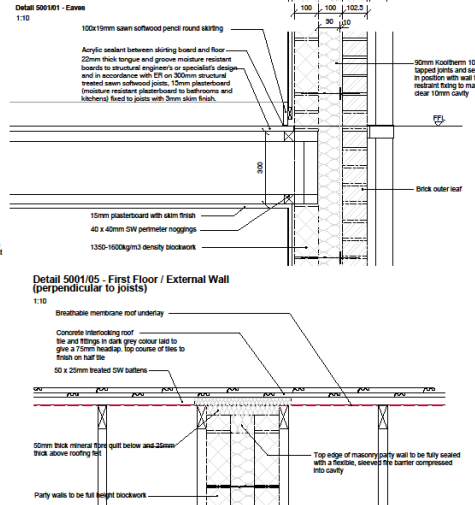
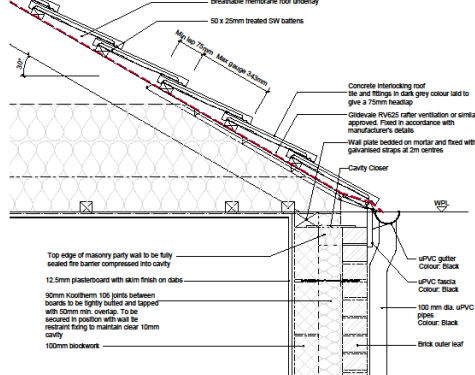
- Location Plan
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details
- Doors
- Boundary Details



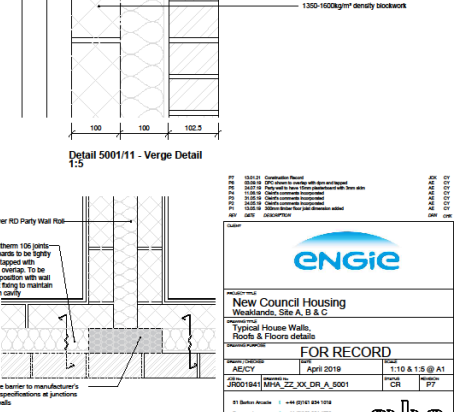
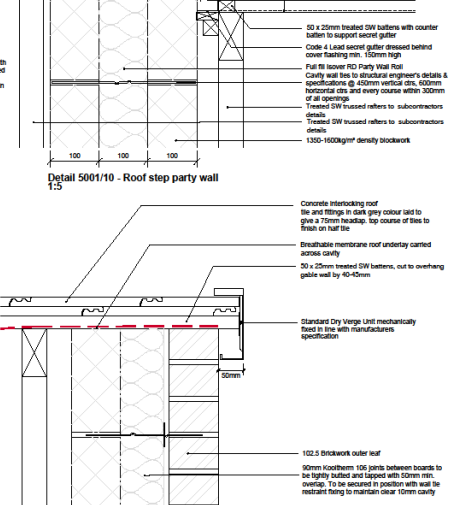
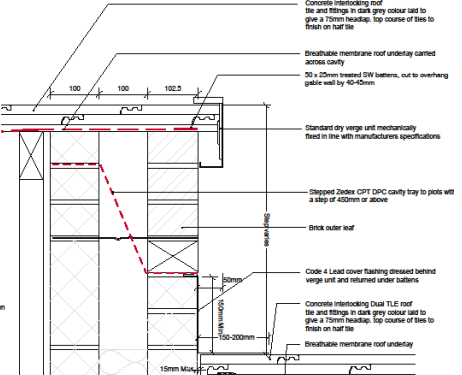


Detail 5001/07 - Foundation PCC Floor 1:10

Detail 5001/09 - Party Wall / Foundation 1:10



Detail 5001/09 - Party Wall Roof Junction 1:10



Detail 5001/12 - Fire Barrier Detail 1:10

ENGIE

New Council Housing

 Westlands, Site A, B & C

 Typical House Walls,

 Roofs & Floors details

 Revision:

FOR RECORD

 A/E/C/Y April 2018 1:10 & 1:5 @ A1

 JRD01941/MH/A_ZZ_KK_DR_A_5001 CR PF

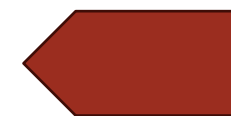
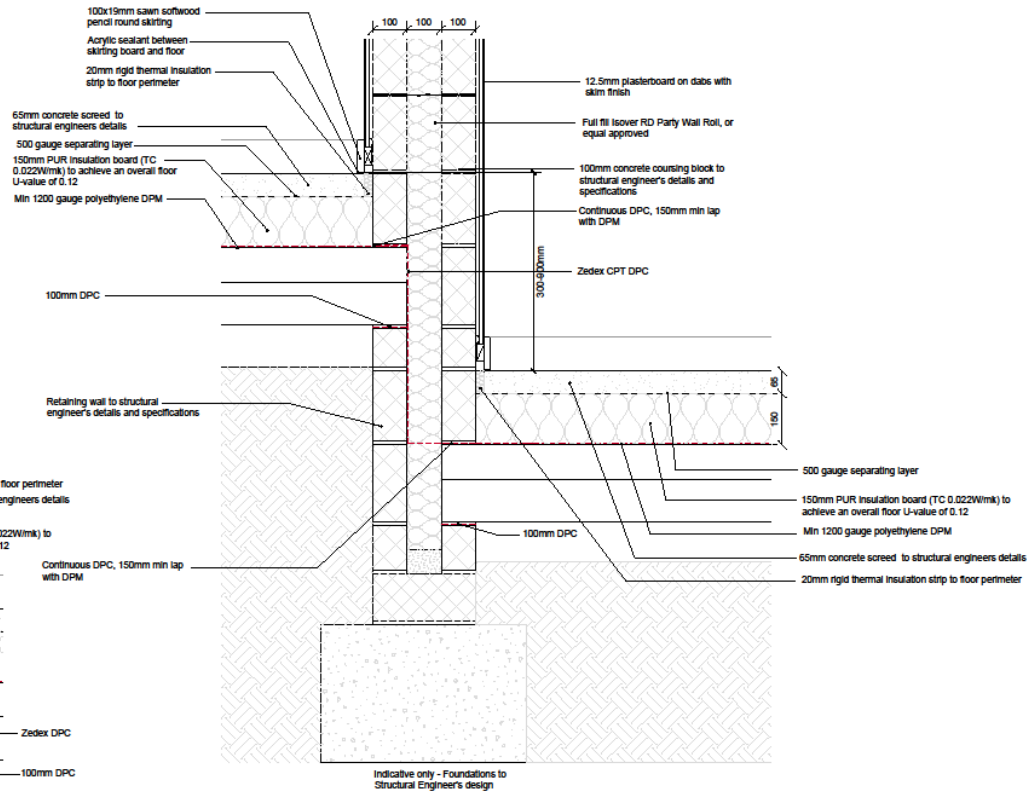
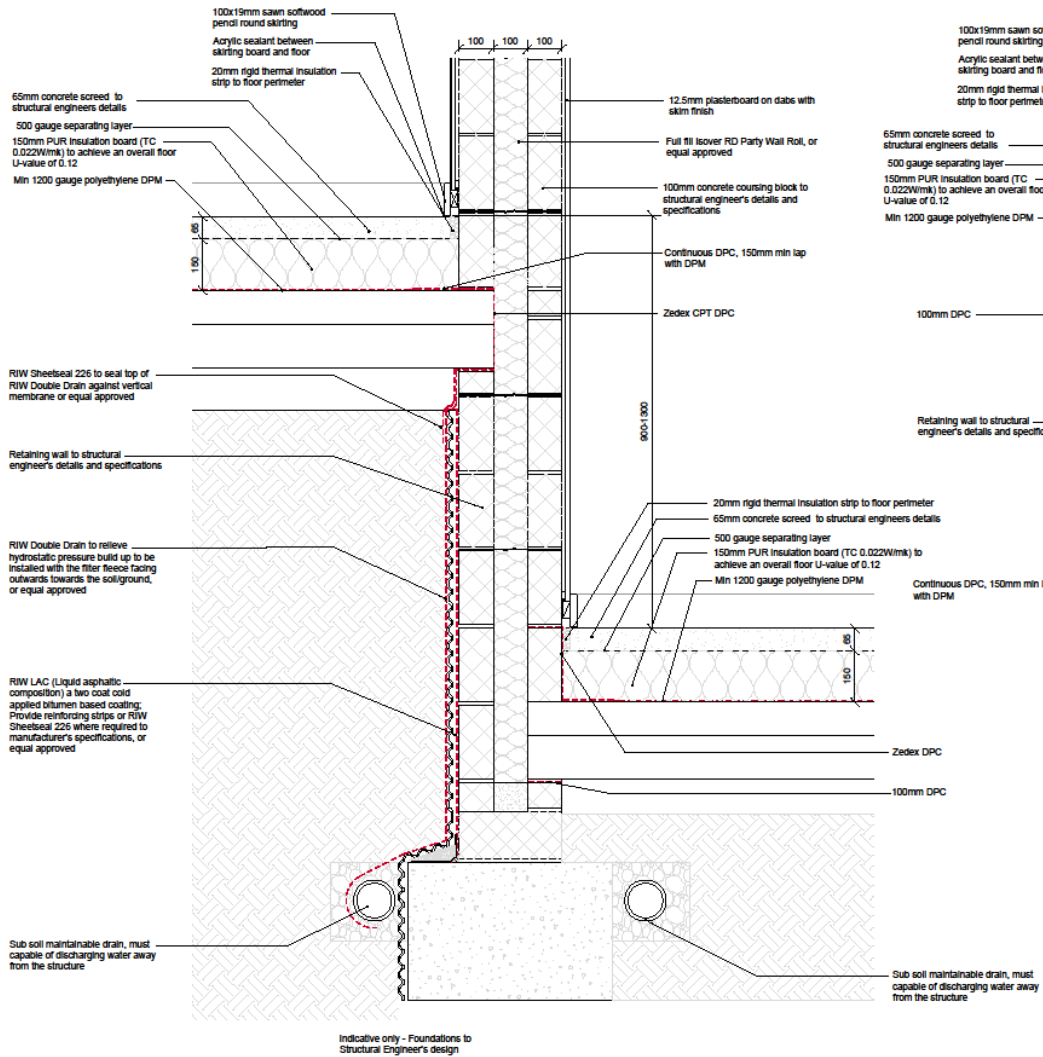
 01 Baker Avenue +44 (0)141 434 1010



 Donnington +44 (0)141 434 4796

 Manchester info@mhgroup.co.uk

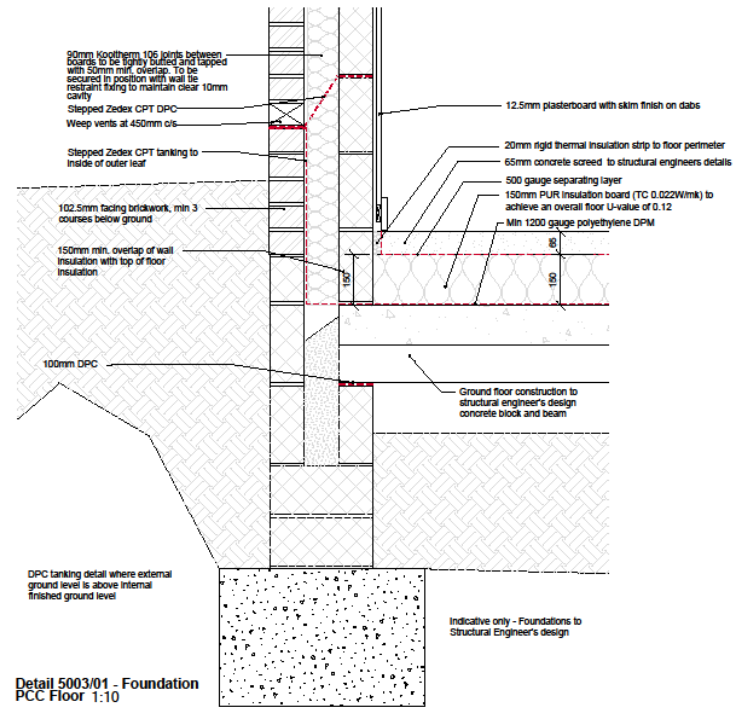
 40 2SU www.mhgroup.co.uk





PS	13.01.21	Coordination Record	JCH	CY
PS	21.05.19	Stepped party wall detail updated	AE	AE
PI	21.05.19	Stepped party wall detail updated	AE	AE
REV	DATE	DESCRIPTION	DRW	CHK
				
PROJECT TITLE New Council Housing Westlands, Site A, B & C				
PROPOSED TITLE Typical House Walls, Stepped party wall tanking detail				
FOR RECORD				
DESIGN / DRAWN	DATE	SCALE		
AE/CY	May 2019	1:10 @ A3		
JOB NO	ISSUED TO	PROJECT	REVISION	
JR001941	MHA_ZZ_XX_DR_A_5002	CR	P3	
21 Barton Arcade +44 (0)121 254 1019 Overgate +44 (0)121 254 4726 Manchester contact@newwardarch.co.uk M2 2BU www.newwardarch.co.uk				
				



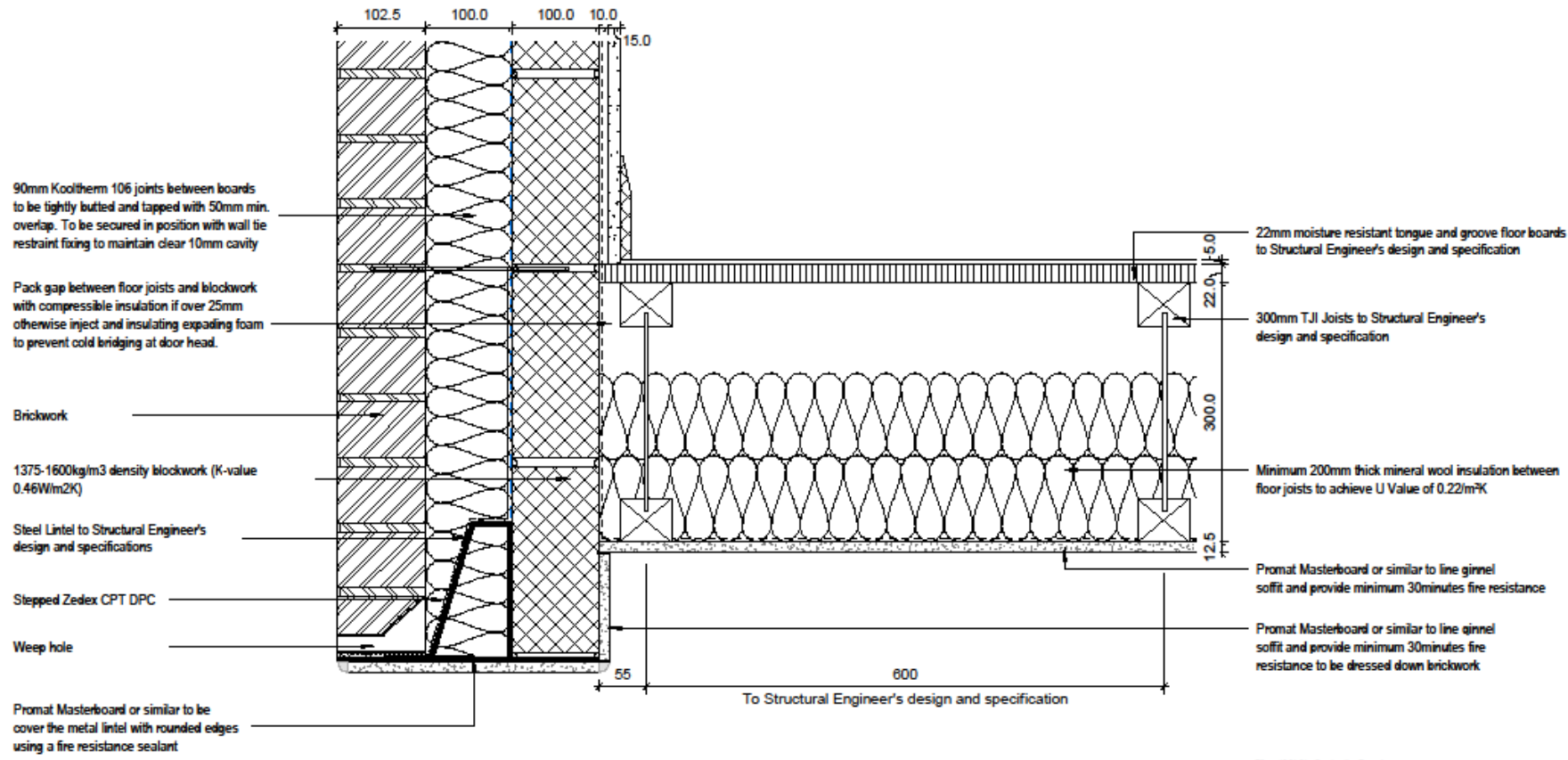


Detail 5003/01 - Foundation PCC Floor 1:10



PR REV	03/01 DATE	Consultation/Revised DESCRIPTION	JDK DATE	CV CHK
				
PROJECT TITLE New Council Housing Westlands, Site A, B & C				
WORK TITLE Typical House Walls DPC Tanking Detail				
REVISION PURPOSE FOR RECORD				
DESIGN / DRAWN	DATE	SCALE		
A/E/CY	May 2019	1:10 @ A3		
JOB NO.	DRAWING NO.	FRAME	PAGES	
JR001941	MHA_ZZ_XX_DR_A_5003	CR	P1	
01 Barton Arcade +44 (0)161 824 1010 Deansgate +44 (0)161 824 4730 Manchester contact@mharc.com M2 2SU www.mharc.com				
				





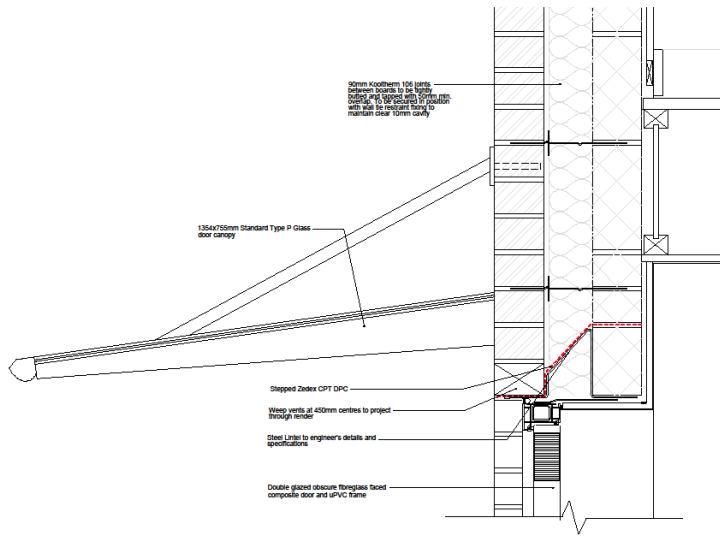
1 Ginnel Soffit Detail
1 : 5



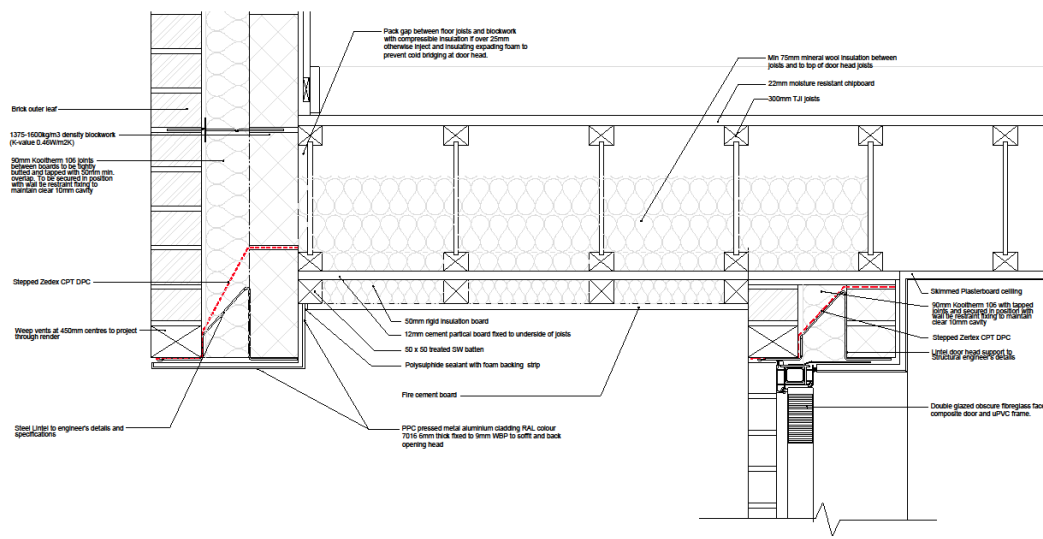
PS	13.01.21	Construction Record	JCK	CY
PS	06.03.20	Updated lintel with requests from building control to make ginnel and lintel fire rated	JCK	CY
PS	14.01.20	Updated lintel with requests from site	JCK	CY
PS	31.08.19	Client's comments incorporated	AE	CY
PS	18.08.19	Insulation between joists updated to 200mm to achieve 0.22 U-value	AE	CY
PS	28.07.19	Initial issue	AE	CY

REV	DATE	DESCRIPTION	DRW	CHK
CLIENT Engie				
PROJECT TITLE New Council Housing Weeklands, Sites A, B & C				
DRAWING TITLE Ginnel Detail				
DRAWING PURPOSE FOR RECORD				
DRAWN / CHECKED JCK / CY		DATE 01/14/20	SCALE @ A3 1 : 5	
JOB No JR001941	DRAWING No MHA- ZZ-XX-DR-A-3013	STATUS CR	REVISION P6	
Abbey House T +44 (0)114 272 7123 11 Leopold Street F +44 (0)114 275 3043 Sheffield E contact@mhaarchitects.com S1 2GY W www.mhaarchitects.com				

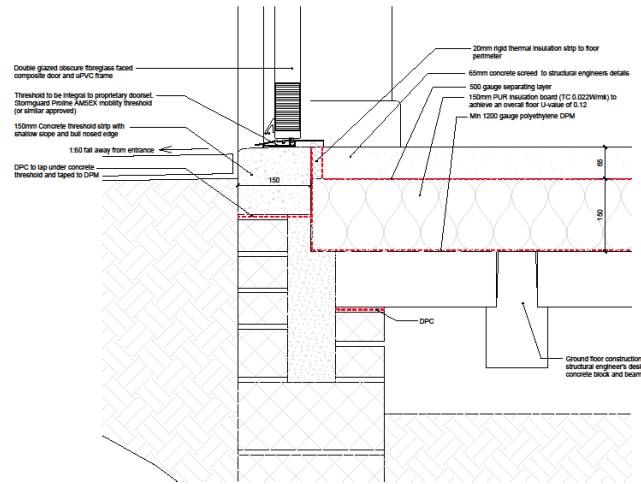




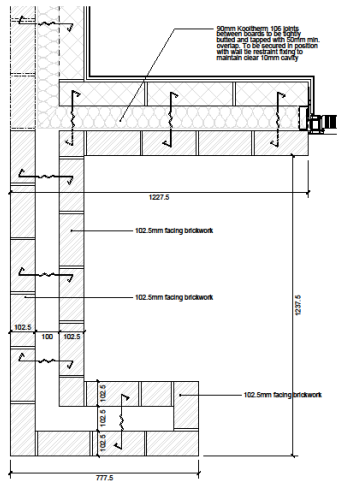
Door Head Detail
1:5



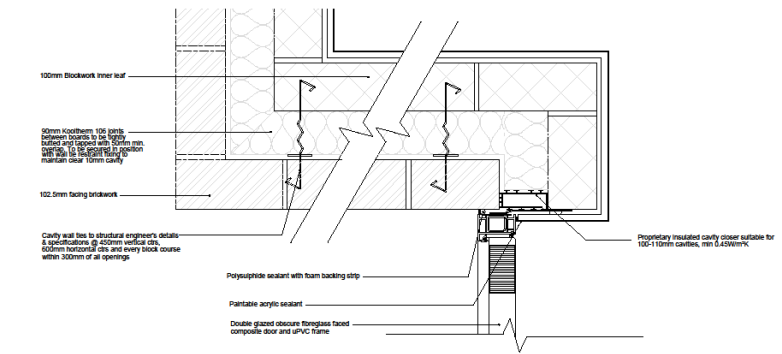
Recessed Door Head Detail
1:5



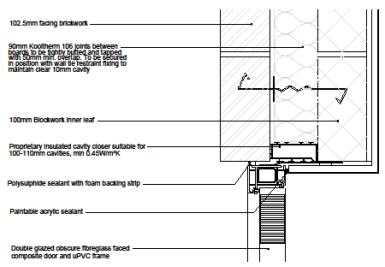
Threshold Detail
1:5



Door Recess Side Wall Detail
1:10



Recessed door Jamb Detail
1:5

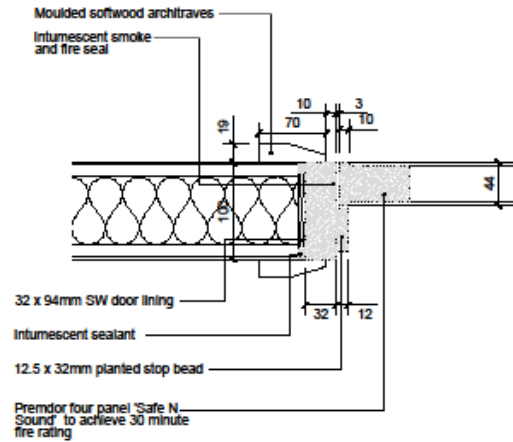


Jamb Detail
1:5

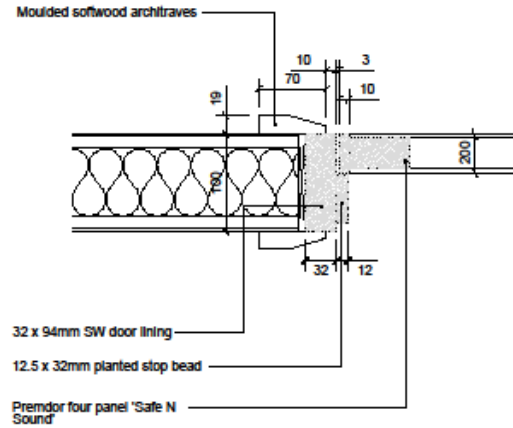
New Council Housing Newlands, Site A, B & C External door details	
FOR RECORD	
Project No: JRC01841	Rev: CR
Date: May 2019	Scale: 1:5 & 1:10 @ A1
Author: JRC	Checked: P4




Detail 01
Generic FD30 door frame detail



Detail 02
Generic door frame detail



P1	13.01.21	Construction Record	JOK	CF
REV	DATE	DESCRIPTION	DRW	CHK
				
Project title New Council Housing Weaklands, Site A, B & C				
Drawn title Internal door details				
Drawn purpose FOR RECORD				
Drawn / Checked AE/CY		Date May 2019	Scale 1:5 @ A3	
JOB No. JR001841	Drawn No. MHA_ZZ_XX_DR_A_5011	Status CR	Revision P1	
51 Barton Arcade Derrigdale Manchester M20 2JU		+44 (0)161 854 1018 +44 (0)161 854 4758 contact@mhaarchitects.com www.mhaarchitects.com		

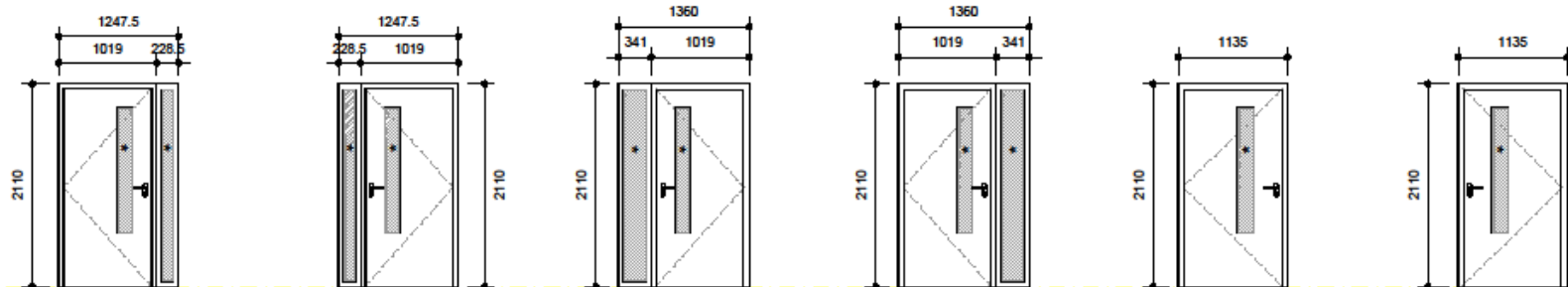


DOORS

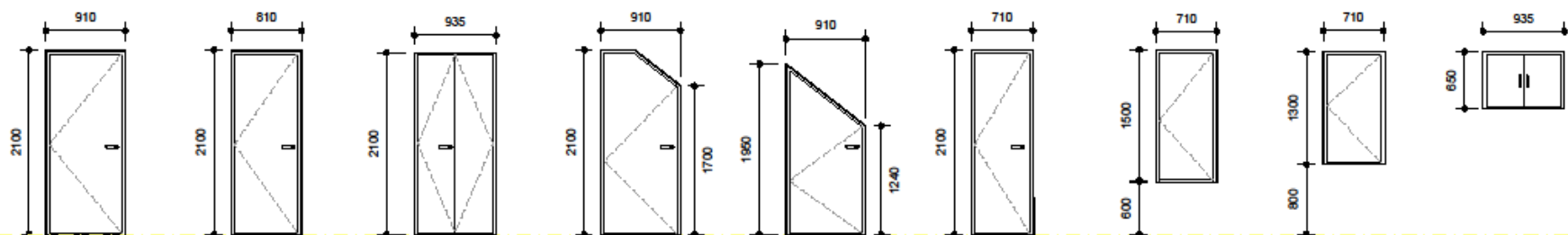
INTERNAL/EXTERNAL

- Location Plan
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details
- Doors
- Boundary Details





Type D01 Type D02 Type D03 Type D04 Type D05 Type D06



Type D07 Type D08 Type D09 Type D10 Type D11 Type D12 Type D13 Type D14 Type D15

External doors

Double glazed units shall be in accordance with the relevant British Standards, marked with the BS Kite Mark. A 10-year insurance-backed guarantee shall be provided.

All doors to be prefabricated door sets from a certified Secured by Design supplier and fitted in accordance with secured by design recommendations.

Access to front doors to all properties to have level access thresholds.

Doors to houses to be double glazed obscure single fibreglass faced composite door and frame (including threshold). U-Value to be no worse than 1.50 W/m²K for the complete door including glazed area.

* Glazing marked to be laminated internally and toughened externally in accordance with BS 6206 impact performance requirements. All glazing to the ground floor and other vulnerable glazing to have a minimum of 6.8mm laminated glass to the internal pane and 6mm toughened outer pane.

Internal doors

Premdor solid core oak veneered doors

Fire doors to have fire door certificate

Internal threshold strips to be provided to wet areas only, all other doors to have 10mm clearance to top of floor finish except fire doors (to provide a minimum of 7,600mm undercut in all internal doors)

Bathrooms, cloaks and shower rooms to have thumb turn handles with emergency release from outside. Chrome finish.

Doorframes rebated 32mm thick softwood.

Provide and fix polished chrome ventilation grilles to top and bottom of both sides of all doors to stores without any form of ventilation.



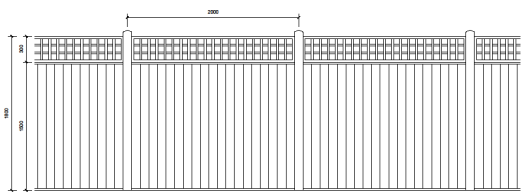
P2	13.01.21	Construction Record	JCK	CY
P1	15.07.19	Client's comments incorporated	AE	CY
REV	DATE	DESCRIPTION	DRAWN	CHECKED
PROJECT NAME New Council Housing Weaklands, Sites A, B & C				
DRAWING NAME Doors Profiles				
DRAWING PURPOSE FOR RECORD				
DESIGNED BY	DATE	SCALE		
AP/AE	May 2019	1:50 @ A3		
JOB NO.	DRAWING NO.	STATUS	REVISION	
JR001941	MHA_ZZ_XX_DR_A_5202	CR	P1	
51 Barton Arcade +44 (0)161 854 1019 Deansgate +44 (0)161 854 4759 Manchester contact@mhaarchitects.com M2 2BU www.mhaarchitects.com				



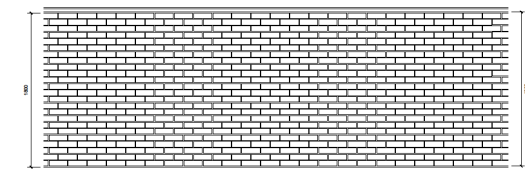
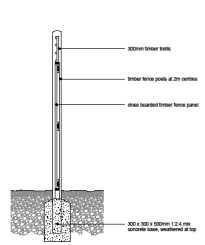
BOUNDARY DETAILS

- Location Plan
- Site Plans
- House Types
- Stair Sections
- House Section
- House Details
- Doors
- Boundary Details

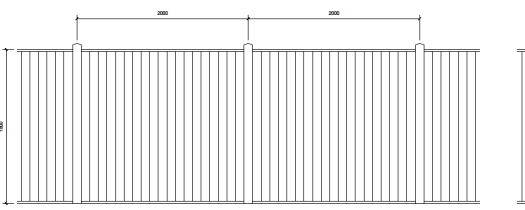
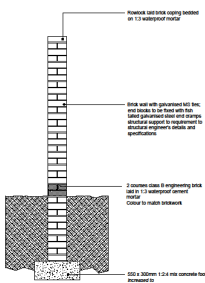




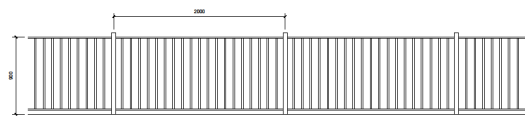
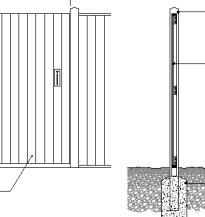
1500mm high timber fence with 300mm trellis over



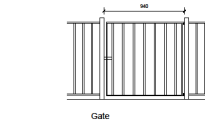
1800mm high brick screen wall



1800mm high close board screen timber fence and timber gates



900mm high black steel railings and steel gates to match



Gate

Gate construction of steel sufficient - concrete ground level design, unless otherwise specified, shall be 100mm below top of gate. All gates shall be constructed to match the gate to which they are attached. All gates shall be constructed to match the gate to which they are attached.

1:20 metres

New Council Housing

 Boundary Treatment Details

 FOR RECORD

 Date: April 2018

 Project: 200010000_20_00_A_0400

 Drawing: 200010000_20_00_A_0400

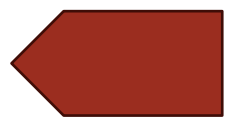
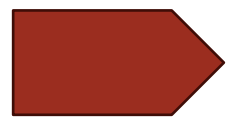
 Scale: 1:20

 Date: 04/04/18

 Author: [Name]

 Check: [Name]

 Date: [Date]



END

